

**DOCUMENT 00 90 00
ADDENDUM**

ADDENDUM: 2

DATE: JANUARY 8, 2026

PROJECT: HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENT PROJECTS
1307 BADGER STREET
LA CROSSE, WISCONSIN 54601
PROJECT NO. 25046

FROM: HSR Associates, Inc
100 Milwaukee Street
La Crosse, WI 54603
(608) 784-1830

TO: Prospective Bidders

This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated DECEMBER 2025. Acknowledge receipt of this Addendum in the space provided on the bid form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of: 4 PAGES, 3 DOCUMENTS, 1 SECTION, and 18 DRAWINGS.

PRE-BID MEETING SIGN IN SHEET:

1. Pre-Bid Meeting Sign-In Sheet – January 6, 2026

CHANGES TO INTRODUCTORY INFORMATION AND BIDDING REQUIREMENTS:

2. Document 00 11 13 Advertisement for Bids
 - a. See the revised document included in this addendum. Disregard the previous version.
 - b. Revised the bid date to January 27, 2026.

CHANGES TO CONTRACTING REQUIREMENTS:

3. Document 00 62 41.07 Section 3 Non-Certified Employee Form
 - a. See the new document included in this addendum.

CHANGES TO GENERAL REQUIREMENTS:

4. Section 01 10 00 Summary
 - a. See the revised section included in this addendum. Disregard the previous version.
 - b. Revised paragraph 1.04 to present requirements for phasing civil work.

CHANGES TO DRAWINGS

5. Sheet C100 Site PAn - for Stokke Tower 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Added Site Note #18, "Parking lot striping and stall numbering"
 - c. Added Site Note #19, "See detail P/500 for typical concrete maintenance curb for light poles"
 - d. Added linework around site light poles to show extents of concrete maintenance curbing
 - e. Added paint numbering on parking stalls
6. Sheet C500 Details – for stokke tower 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Added Detail "P", Typical Light Pole Maintenance Curb Layouts
7. Sheet C100 site plan – for mullen homes 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Added Site Note #13, "See details A/C100 and B/C100 for typical concrete maintenance curb for light poles"
 - c. Added Details "A", 12" Maintenance Curb and "B", Typical Light Pole Maintenance Curb Layouts
 - d. Added linework around site light poles to show extents of concrete maintenance curbing.
8. Sheet A400 DEMO PLANS 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Revised detail 1 including:
 - i. Revised Laundry Room 105 and STG 105A to add ceiling removal area (keynote 14)
 - ii. Added keynote 18 for new ceiling openings.
 - c. Revised detail 2 for changes to keynotes at laundry rooms and corridors.
 - d. Revised wording for keynotes 4,5,6,7 & 14.
 - e. Changed the use of keynote 9.
 - f. Removed keynote 15.
 - g. Added keynotes 16, 17, 18.
9. Sheet A410 REMODEL PLANS 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Revised the scale of detail 1.
 - c. Added keynote 12 to detail 3 regarding the abandoned laundries 202, 502, 802.
 - d. Added detail 5 to show laundry room ceiling plan and related notes.
10. Sheet A420 Elevations-Door Schedule-Wall Types 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Revised detail 12 to lengthen awning to 19'-0".

11. Sheet ID410 FINISH FLOOR PLAN 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Revised detail 1 including:
 - i. Removed floor finishes from abandoned laundry rooms.
 - ii. Removed keynote 1.
 - iii. Corrected VWB designation.
 - c. Revised detail 2 to correct vinyl wall base designation.
 - d. Added detail 3 to add new laundry room finish plan.
12. Sheet P400 DEMO PLANS 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Fixture removal schedule updated.
 - c. Laundry room removal fixtures updated.
13. Sheet P401 REMODEL PLANS 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Storage room 105A access panel note removed.
 - c. Laundry tub (LT-1) piping in new wall.
14. Sheet M410 stoffel court remodel sheet 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Revised lobby and hallway diffusers.
 - c. Revised location of EF-1.
 - d. Added exhaust grille for EF-1 and relocated to ceiling grid.
 - e. Revised dryer exhaust.
 - f. Added notes to requiring verification of (E)FT-6 length ant trim blank housing.
 - g. Added detail 3M410 for existing laundry room.
 - h. Updated schedule.
15. Sheet E310 power, lighting and demolition plan 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Revised lighting schedule.
16. Sheet E410 POWER PLAN 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Added circuit number for First Floor exhaust fan.
 - c. Added keynotes.
 - d. Added #3 floor plan for existing laundry rooms.
17. Sheet E420 LIGHTING PLAN 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Revised fixture designations for first floor lighting plan.
 - c. Revised fixture designations for tenth floor lighting plan.
18. Sheet E460 Riser Diagram and Schedules 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Revised panel schedule.
 - c. Revised lighting schedule.
 - d. Revised detail #2.

19. Sheet E501 SITE PLAN 30"x42"

- a. See the revised sheet included in this addendum. Disregard the previous version.
- b. Added and revised keynotes.
- c. Added general note.
- d. Added camera conduit.
- e. Revised pole base detail.

20. Sheet E520 first floor lighting plan 30"x42"

- a. See the revised sheet included in this addendum. Disregard the previous version.
- b. Revised lighting circuit source.
- c. Added and revised keynotes.
- d. Revised lighting fixture schedule.

21. Sheet ED601 SITE DEMOLITION PLAN 30"x42"

- a. See the revised sheet included in this addendum. Disregard the previous version.
- b. Revised lighting circuit path.

22. Sheet E601 SITE DEMOLITION PLAN 30"x42"

- a. See the revised sheet included in this addendum. Disregard the previous version.
- b. Revised detail #2.
- c. Revised site wiring runs.
- d. Added camera conduits.
- e. Added detail #3.

END OF DOCUMENT 00 90 00

Pre-Bid Meeting Sign-In Sheet

January 6, 2026

PROJECT: HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENTS PROJECTS
LA CROSSE, WISCONSIN 54603
HSR 25046

BID OPENING: 2:00 PM, January 20, 2026

Name	Company
1. Doug Ramsey	HSR
2. Mike Lorens	HSR
3. Jeremy Gunderson	LHA
4. Steve Schauf	LHA
5. <u>JOHN BRAUND</u>	<u>BRAUND BLD. CNT.</u>
6. <u>Troy Mathew</u>	<u>BRC building restoration corp.</u>
7. <u>GREG Amundson</u>	<u>HSR</u>
8. <u>Kevin Klich</u>	<u>Padesky Electric</u>
9. <u>Brandy Ernst</u>	<u>HSR.</u>
10. <u>Chris Crandall</u>	<u>HSR.</u>
11. <u>Jeff Nowhouse</u>	<u>Paragon</u>
12. <u>Tyler Erickson</u>	<u>Americon</u>
13.	
14.	
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16.	
17.	
18.	
19.	
20.	

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SECTION 00 11 13
ADVERTISEMENT FOR BIDS

Sealed bids for the construction of:

**HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENT PROJECTS
1307 BADGER STREET
LA CROSSE, WISCONSIN 54601
PROJECT NO. 25046**

will be received by:

**HOUSING AUTHORITY OF THE CITY OF LA CROSSE
1307 BADGER STREET
LA CROSSE, WISCONSIN 54601
ATT: STEVE SCHAUF - EXECUTIVE DIRECTOR**

until 2:00 pm, January 27, 2026, after which they will be opened publicly and read aloud. Bids received after the time set for receipt of bids will not be accepted.

In general, the Project consists of but is not limited to repairs and improvements to multiple multi-family residential facilities. Masonry/sealant work includes applying water repellant to exterior surfaces and replacing sealant at control joints at one structure. Exterior improvements to buildings include metal clad awnings with signage, and metal cladding at sheds. Work on openings includes hollow metal frames with flush wood doors and aluminum storefront windows. Interior work includes architectural wood casework, solid surface fabrications, FRP panels. Finishes work include steel stud partitions, resilient flooring painting. Plumbing work includes renovations to laundries and sinks. Mechanical work includes electric wall heater and exhaust fans. Electrical work includes site and interior lighting and power. Civil work includes concrete and asphalt paving replacement, paving markings, plastic fences, and sodding.

Lump-sum Bids will be received on a SINGLE PRIME CONSTRUCTION CONTRACT FOR THE ENTIRE WORK.

The Project Drawings, Project Manual and other Bidding Documents may be examined at the following locations:

AE'S OFFICE: HSR ASSOCIATES, INC.

100 MILWAUKEE STREET
LA CROSSE, WI 54603
608-784-1830

BUILDER'S EXCHANGES:

La Crosse
Northwest Regional (Eau Claire/Chippewa Falls)
Wausau, WI
Builders Exchange of Wisconsin (Appleton)
Minneapolis, MN
Rochester, MN
Northern IA (Mason City, IA)
Master Builders IA (Des Moines, IA)
Builders Exchange of Michigan
ConstructConnect
Dodge Data & Analytics (West Allis, WI)

Electronic Bidding Documents (.pdf) will be available from HSR Associates, Inc. via Sharefile electronic distribution and will be distributed to the listed Builders Exchanges. Electronic versions of addenda will be distributed via the same systems.

Hardcopy Bidding Documents may be picked up at HSR Associates' office. Bidders may request shipment of hardcopies by sending a check made out to HSR Associates in the amount of \$20.00. The shipping fee will not be refunded and must be received prior to shipment.

HSR Associates is responsible for distribution of addenda only to those who have requested project documents from HSR in formats described above.

HSR Associates will make AutoCAD files available to the Contractor following award of contract.

HSR Associates maintains a plan holder list at www.hsrassociates.com. This list includes only those who have requested plans from HSR and those who have requested to be added our list.

Bid Security in the amount of five percent (5%) of the maximum amount of the Bid must accompany each Bid as described in the Project Manual, Instructions to Bidders.

The Owner reserves the right to waive irregularities and to reject any or all Bids. Bids may only be withdrawn in accordance with the Project Manual, Instructions to Bidders.

A non-mandatory pre-bid meeting will be conducted by the Owner and Architect/Engineer to answer questions and to enable bidders to examine the project documents. Pre-Bid meeting will occur at 10:00 am January 6, 2026, at HSR Associates Inc., 100 Milwaukee St. La Crosse, Wisconsin.

By: Steve Schauf

Title: Executive Director

Publish Date: Weeks of December 29, 2025 and January 5, 2026 - La Crosse Tribune.

END OF DOCUMENT 00 11 13

DOCUMENT 00 62 41.07

SECTION 3 NON-CERTIFIED EMPLOYEE FORM

This form is not based on a HUD form. Use it to document each employee that is not certified as a Section 3 worker. This information is used by the housing authority to review and document Section 3 compliance.

Contractor / Subcontractor Name: _____

Project Name & Number: _____

Please provide the worker's information below:

Printed Name of Worker: _____

Street Address (Not a PO Box) Apt# City State Zip

Phone #: _____ Email: _____

I/We, the undersigned recognize that the individual listed above is not certified as a Section 3 worker.

Submitter

Date

END OF DOCUMENT 00 62 41.07

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SECTION 01 10 00

SUMMARY

PART 1 GENERAL

1.01 PROJECT

- A. Refer to Cover Sheet on Drawings for project title and location.
- B. Refer to 00 11 13 Advertisement for Bids for brief description of Project.

1.02 RELATED REQUIREMENTS

- A. Section 01 50 00 - Temporary Facilities: Requirements for temporary utilities.
- B. Section 01 70 00 - Administrative Requirements: Contract limits and protection of existing conditions.

1.03 CONTRACT DESCRIPTION

- A. Contract Type: A single prime contract based on a Stipulated Price as described in Document 00 52 00 - Agreement Form.

1.04 PHASED CONSTRUCTION

- A. Civil Phasing
 - 1. Stokke Tower: Improvements on the West Property (the main building at 421 6th Street South) shall be substantially completed before any substantial work on the East Property (parking lot at 412/420 7th Street South) is started. The east building entrance shall remain accessible at all times, to the greatest extent possible. Parking in the East Property lot shall remain substantially open during construction on the West Property. The area north of the East Property (408 7th Street South), may be used as a staging area throughout the project. Incidental work that is adjacent to the East Property (i.e. lighting, necessary conduit, etc.) that can be completed without major impact to the remaining parking, can be completed during the West Property work.
 - 2. Mullen Homes: Improvements at 803 Winneshiek Road and 1312 St. James Street shall be completed before any work on 802 Winneshiek Road is started. This is in order to salvage the light poles at 803 Winneshiek for reinstallation at 802 Winneshiek, and to allow for available parking lots to be staggered during construction.

1.05 WORK BY OTHERS

- A. Items indicated "N.I.C." on the Project Drawings will be furnished and installed by others not a party to the Prime Contracts.

1.06 OWNER OCCUPANCY

- A. Owner intends to continue to occupy the buildings throughout the duration of the work including residential units during door replacements.
- B. Cooperate with Owner to minimize conflict and to facilitate Owner's operations.
- C. Schedule the Work to accommodate Owner occupancy.

1.07 CONTRACTOR USE OF SITE AND PREMISES

- A. Construction Operations: Limited to areas noted on Drawings.
- B. Arrange use of site and premises to allow:
 - 1. Owner occupancy.
 - 2. Work by Others.
 - 3. Work by Owner.
- C. Provide access to and from site as required by law and by Owner:
 - 1. Emergency Building Exits During Construction: Keep all exits required by code open during construction period; provide temporary exit signs if exit routes are temporarily altered.
 - 2. Do not obstruct roadways, sidewalks, or other public ways without permit.

- D. Time Restrictions:
 - 1. Work on the Project shall be done during normal working hours. If at any time during construction it becomes necessary to accelerate the Work in order to meet completion dates for portions or all of the Work, all trades shall work overtime at no additional cost to Owner.
- E. Utility Outages and Shutdown:
 - 1. Notify Owner within 48 hours of necessary interruptions of services including, but not limited to: HVAC systems, water service (hot & cold), electrical service, communications systems.
 - 2. Do not disrupt or shut down life safety systems, including but not limited to fire sprinklers and fire alarm system, without 7 days notice to Owner and authorities having jurisdiction.
 - 3. Prevent accidental disruption of utility services to other facilities.

1.08 CONSTRUCTION SCHEDULE

- A. Date of Commencement of the Administrative Work: February 17, 2026.
- B. Date of Commencement of Construction: March 16, 2026.
- C. Date of Substantial Completion: October 16, 2026.
- D. Final Completion: The completion of all Work according to the contract Documents, approved by the AE and accepted by the Owner shall be within 30 days after the Date of Substantial Completion.
- E. Exceptions: The only exceptions to the above completion dates are delay or termination because of a national emergency and/or extension of time for completion claimed and allowed according to the General Conditions and/or Supplementary Conditions.

1.09 WORK SEQUENCE

- A. Coordinate construction schedule and operations with Architect.

PART 2 PRODUCTS - NOT USED

PART 3 EXECUTION - NOT USED

END OF SECTION



Consultant:



HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENT PROJECTS
1307 BADGER STREET
LA CROSSE, WI 54602
SITE PLAN

Project Title:
Project Number:
Project Date:
Drawn By:
Key Plan:

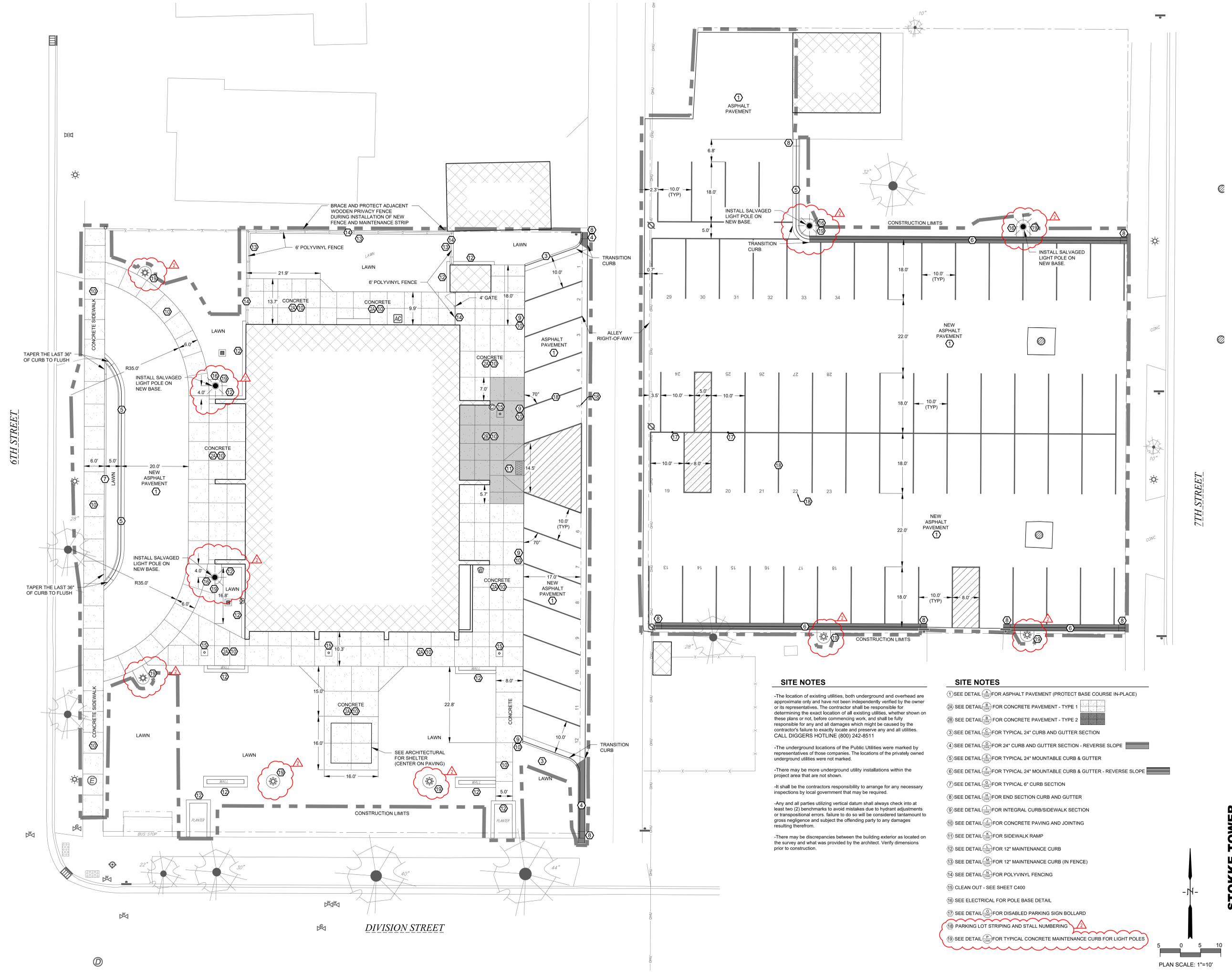
HSR Project Number:
25046
NOVEMBER 2025
C.G.

BID DRAWINGS

No.	Description	Date
2	Addendum #2	01/08/26

Graphic Scale:
1" = 10'
Last Update:
12/18/2025

C100

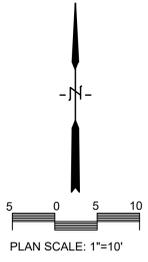


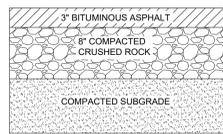
SITE NOTES

- The location of existing utilities, both underground and overhead are approximate only and have not been independently verified by the owner or its representatives. The contractor shall be responsible for determining the exact location of all existing utilities, whether shown on these plans or not, before commencing work, and shall be fully responsible for any and all damages which might be caused by the contractor's failure to exactly locate and preserve any and all utilities. CALL DIGGERS HOTLINE (800) 242-9511
- The underground locations of the Public Utilities were marked by representatives of those companies. The locations of the privately owned underground utilities were not marked.
- There may be more underground utility installations within the project area that are not shown.
- It shall be the contractor's responsibility to arrange for any necessary inspections by local government that may be required.
- Any and all parties utilizing vertical datum shall always check into at least two (2) benchmarks to avoid mistakes due to hydrant adjustments or transpositional errors. Failure to do so will be considered tantamount to gross negligence and subject the offending party to any damages resulting therefrom.
- There may be discrepancies between the building exterior as located on the survey and what was provided by the architect. Verify dimensions prior to construction.

SITE NOTES

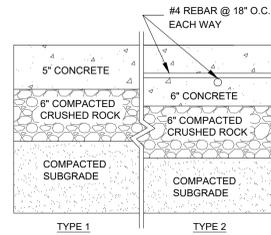
- ① SEE DETAIL (A) FOR ASPHALT PAVEMENT (PROTECT BASE COURSE IN-PLACE)
- ②A SEE DETAIL (A) FOR CONCRETE PAVEMENT - TYPE 1
- ②B SEE DETAIL (A) FOR CONCRETE PAVEMENT - TYPE 2
- ③ SEE DETAIL (A) FOR TYPICAL 24" CURB AND GUTTER SECTION
- ④ SEE DETAIL (A) FOR 24" CURB AND GUTTER SECTION - REVERSE SLOPE
- ⑤ SEE DETAIL (A) FOR TYPICAL 24" MOUNTABLE CURB & GUTTER
- ⑥ SEE DETAIL (A) FOR TYPICAL 24" MOUNTABLE CURB & GUTTER - REVERSE SLOPE
- ⑦ SEE DETAIL (A) FOR TYPICAL 6" CURB SECTION
- ⑧ SEE DETAIL (A) FOR END SECTION CURB AND GUTTER
- ⑨ SEE DETAIL (A) FOR INTEGRAL CURB/SIDEWALK SECTION
- ⑩ SEE DETAIL (A) FOR CONCRETE PAVING AND JOINTING
- ⑪ SEE DETAIL (A) FOR SIDEWALK RAMP
- ⑫ SEE DETAIL (A) FOR 12" MAINTENANCE CURB
- ⑬ SEE DETAIL (A) FOR 12" MAINTENANCE CURB (IN FENCE)
- ⑭ SEE DETAIL (A) FOR POLYVINYL FENCING
- ⑮ CLEAN OUT - SEE SHEET C400
- ⑯ SEE ELECTRICAL FOR POLE BASE DETAIL
- ⑰ SEE DETAIL (A) FOR DISABLED PARKING SIGN BOLLARD
- ⑱ PARKING LOT STRIPING AND STALL NUMBERING
- ⑲ SEE DETAIL (A) FOR TYPICAL CONCRETE MAINTENANCE CURB FOR LIGHT POLES



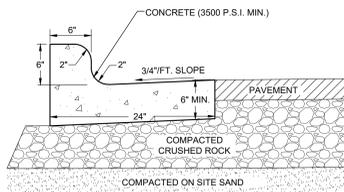


NOTE:
1. MAINTAIN EXISTING BASE
2. 6" MINIMUM BASE WHERE NEW BASE IS REQUIRED.

A LIGHT DUTY PAVEMENT SECTION DETAIL
C100 NO SCALE

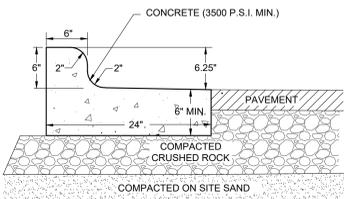


B CONCRETE PAVEMENT SECTION DETAIL
C100 NO SCALE



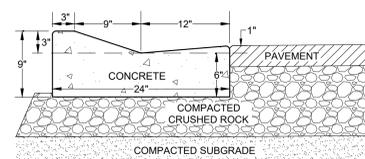
NOTE:
1. CONTROL JOINTS SHALL CONFORM WITH WISDOT 601.3.6
2. THE BOTTOM OF THE CURB AND GUTTER MAY BE CONSTRUCTED FLAT OR PARALLEL TO THE SLOPE OF THE BASE COURSE PROVIDED A MINIMUM 6" GUTTER THICKNESS IS MAINTAINED

C TYPICAL 24" CURB AND GUTTER SECTION
C100 NO SCALE



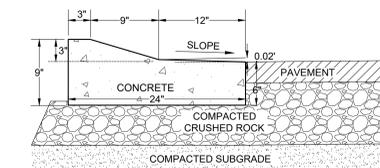
NOTE:
1. CONTROL JOINTS SHALL CONFORM WITH WISDOT 601.3.6
2. THE BOTTOM OF THE CURB AND GUTTER MAY BE CONSTRUCTED FLAT OR PARALLEL TO THE SLOPE OF THE BASE COURSE PROVIDED A MINIMUM 6" GUTTER THICKNESS IS MAINTAINED

D 24" CURB AND GUTTER SECTION - REVERSE SLOPE
C100 NO SCALE



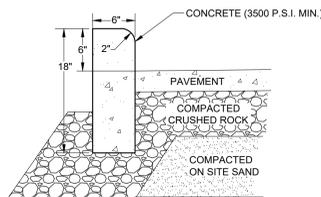
NOTE:
ROCK UNDER CURB TO BE SAME DEPTH TO SUBGRADE AS ADJACENT PAVEMENT, HOWEVER, NOT LESS THAN 6".

E TYPICAL 24" MOUNTABLE CURB AND GUTTER
C100 NO SCALE



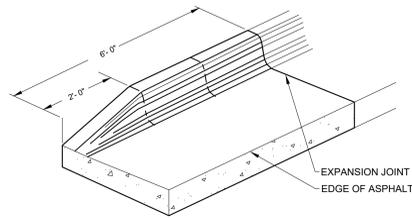
NOTE:
ROCK UNDER CURB TO BE SAME DEPTH TO SUBGRADE AS ADJACENT PAVEMENT, HOWEVER, NOT LESS THAN 6".

F TYPICAL 24" MOUNTABLE CURB AND GUTTER - REVERSE SLOPE
C100 NO SCALE

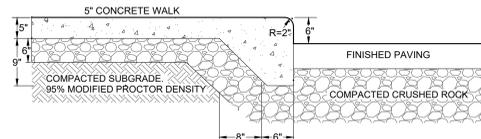


NOTE:
ROCK UNDER CURB TO BE SAME DEPTH TO SUBGRADE AS ADJACENT PAVEMENT, HOWEVER, NOT LESS THAN 6".

G TYPICAL 6" CURB SECTION
C100 NO SCALE

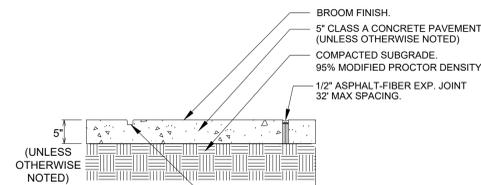


H END SECTION CURB & GUTTER
C100 NO SCALE



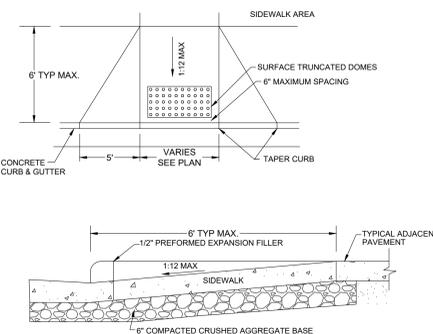
NOTE:
ROCK UNDER CURB TO BE SAME DEPTH TO SUBGRADE AS ADJACENT PAVEMENT, HOWEVER, NOT LESS THAN 6".

I INTEGRAL CURB/SIDEWALK SECTION
C100 NO SCALE



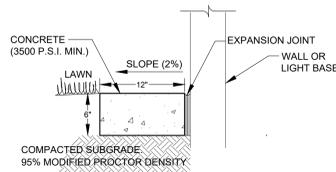
NOTE:
SIDEWALK IN DRIVEWAY SECTIONS SHALL BE 6" THICK

J CONCRETE PAVING AND JOINTING
C100 NO SCALE

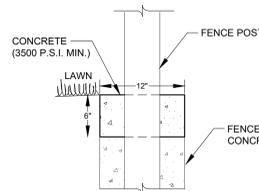


NOTES:
• 2"x4" TRUNCATED DOME PANELS SHALL BE CAST IRON
• THE SURFACE TEXTURE OF THE RAMP (EXCLUDING THE TRUNCATED DOME PANEL) SHALL BE A COARSE BROOMED FINISH, TRANSVERSE TO THE SLOPE OF THE RAMP.

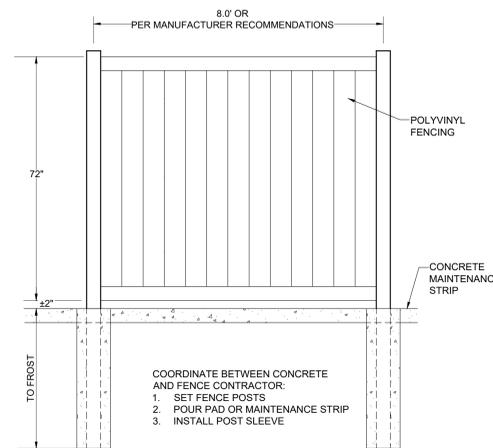
K SIDEWALK RAMP DETAIL
C100 NO SCALE



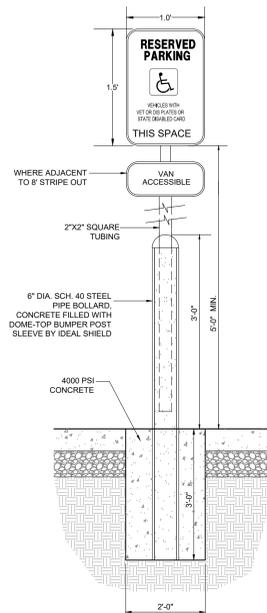
L 12" MAINTENANCE CURB
C100 NO SCALE



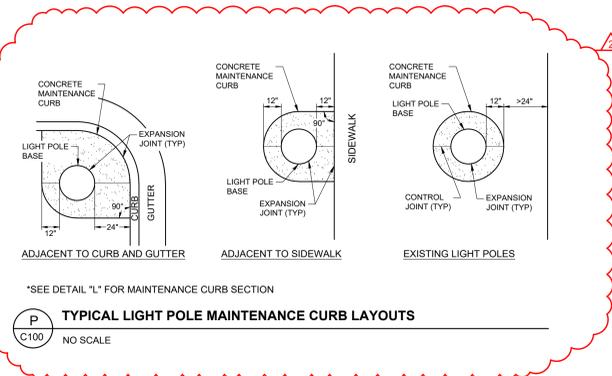
M 12" MAINTENANCE CURB (IN FENCELINE)
C100 NO SCALE



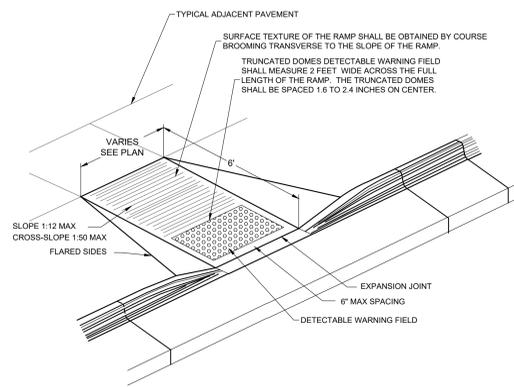
N POLYVINYL FENCING DETAIL
C100 NO SCALE



O DISABLED PARKING SIGN BOLLARD DETAIL
C100 NO SCALE



P TYPICAL LIGHT POLE MAINTENANCE CURB LAYOUTS
C100 NO SCALE



NOTES:
• 2"x4" TRUNCATED DOME PANELS SHALL BE CAST IRON
• THE SURFACE TEXTURE OF THE RAMP (EXCLUDING THE TRUNCATED DOME PANEL) SHALL BE A COARSE BROOMED FINISH, TRANSVERSE TO THE SLOPE OF THE RAMP.

K SIDEWALK RAMP DETAIL
C100 NO SCALE



HSR ASSOCIATES INC.
100 MILWAUKEE STREET
LA CROSSE, WISCONSIN
PHONE: 608.784.1830
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Environmental Design & Consulting
Civil Engineering Landscape Architecture
353 COMPLEXTOWN AVENUE, LA CROSSE, WI 54601
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HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENT PROJECTS

Project Title: HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENT PROJECTS
Project Location: 1307 BADGER STREET
LA CROSSE, WI 54602

HSR Project Number: 25046

Project Date: NOVEMBER 2025

Drawn By: C.G.

Key Plan:

BID
DRAWINGS

No.	Description	Date
2	Addendum #2	01/08/26

Graphic Scale: 1" = 10'

Last Update: 12/18/2025

C500

STOKKE TOWER



Consultant:

HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENT PROJECTS

Project Title:
Project Location: 1307 BADGER STREET
LA CROSSE, WI 54602

Sheet Title:
SITE PLAN

HSR Project Number:
25046

Project Date:
NOVEMBER 2025

Drawn By:
C.G.

Key Plan:

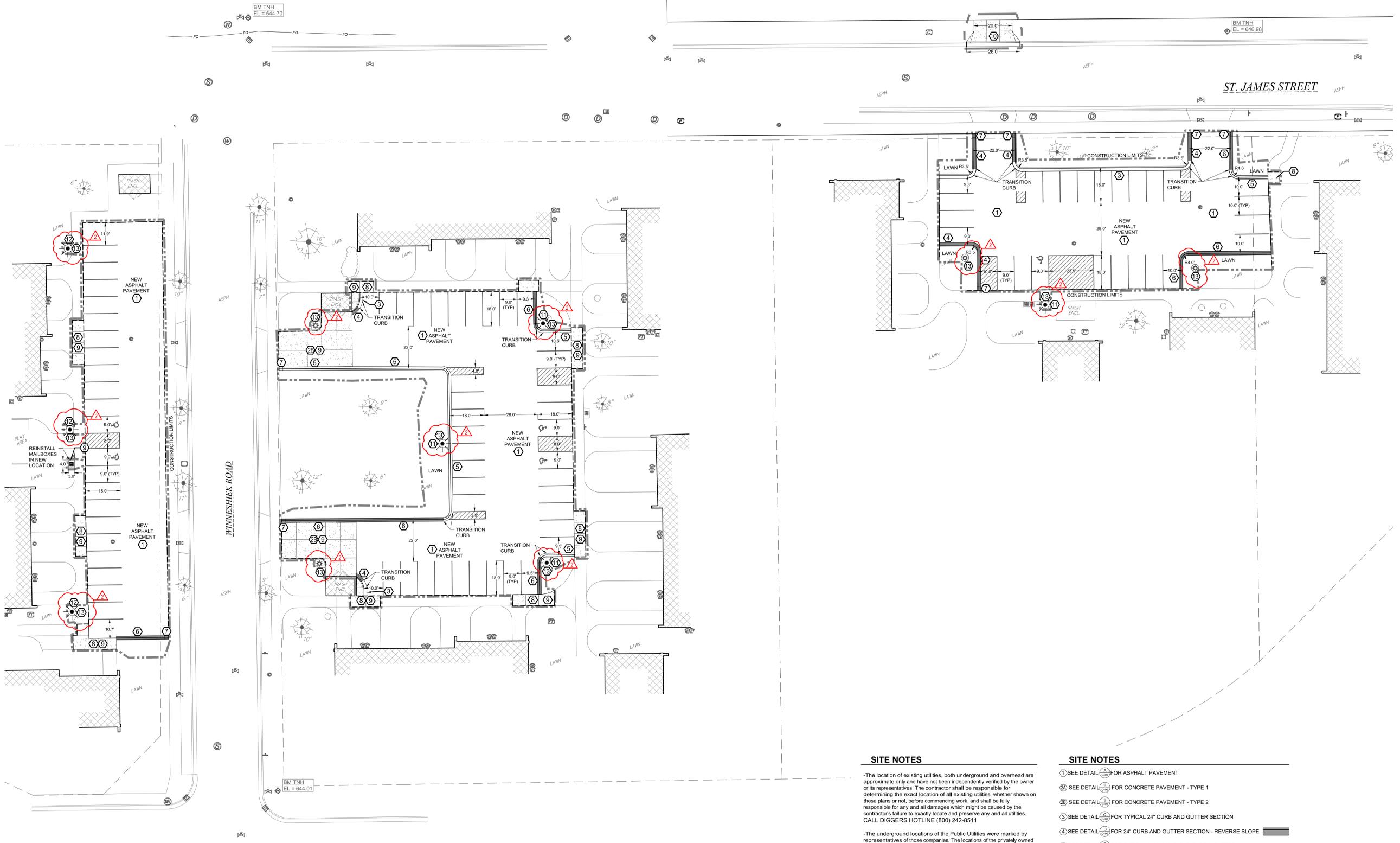
BID
DRAWINGS

No.	Description	Date
2	Addendum #2	01/08/26

Graphic Scale:
1"=20'

Last Update:
12/18/2025

C100



SITE NOTES

-The location of existing utilities, both underground and overhead are approximate only and have not been independently verified by the owner or its representatives. The contractor shall be responsible for determining the exact location of all existing utilities, whether shown on these plans or not, before commencing work, and shall be fully responsible for any and all damages which might be caused by the contractor's failure to exactly locate and preserve any and all utilities. CALL DIGGERS HOTLINE (800) 242-6511

-The underground locations of the Public Utilities were marked by representatives of those companies. The locations of the privately owned underground utilities were not marked.

-There may be more underground utility installations within the project area that are not shown.

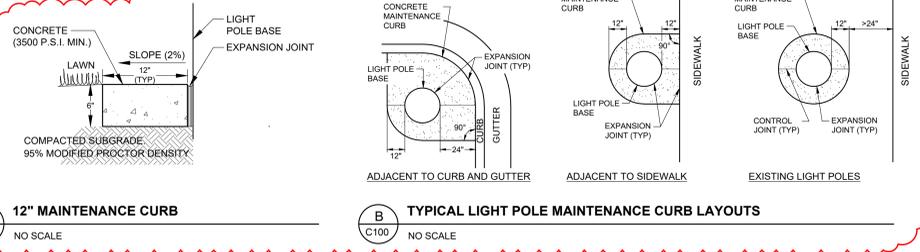
-It shall be the contractor's responsibility to arrange for any necessary inspections by local government that may be required.

-Any and all parties utilizing vertical datum shall always check into at least two (2) benchmarks to avoid mistakes due to hydrant adjustments or transcriptional errors. Failure to do so will be considered tantamount to gross negligence and subject the offending party to any damages resulting therefrom.

-There may be discrepancies between the building exterior as located on the survey and what was provided by the architect. Verify dimensions prior to construction.

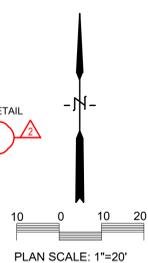
SITE NOTES

- 1) SEE DETAIL (A) FOR ASPHALT PAVEMENT
- 2) SEE DETAIL (A) FOR CONCRETE PAVEMENT - TYPE 1
- 3) SEE DETAIL (A) FOR CONCRETE PAVEMENT - TYPE 2
- 4) SEE DETAIL (A) FOR TYPICAL 24" CURB AND GUTTER SECTION
- 5) SEE DETAIL (A) FOR 24" CURB AND GUTTER SECTION - REVERSE SLOPE
- 6) SEE DETAIL (A) FOR TYPICAL 24" MOUNTABLE CURB & GUTTER
- 7) SEE DETAIL (A) FOR TYPICAL 24" MOUNTABLE CURB & GUTTER - REVERSE SLOPE
- 8) SEE DETAIL (A) FOR END SECTION CURB AND GUTTER
- 9) SEE DETAIL (A) FOR INTEGRAL CURB/SIDEWALK SECTION
- 10) SEE DETAIL (A) FOR CONCRETE PAVING AND JOINTING
- 11) SEE DETAIL (A) FOR CITY OF LA CROSSE STANDARD DRIVEWAY
- 12) REINSTALL SALVAGED LIGHT POLE ON NEW BASE. SEE ELECTRICAL FOR BASE DETAIL
- 13) INSTALL NEW LIGHT POLE ON NEW BASE (MATCH EXISTING). SEE ELECTRICAL FOR BASE DETAIL
- 14) SEE DETAILS (A) AND (B) FOR TYPICAL CONCRETE MAINTENANCE CURB FOR LIGHT POLES



A 12" MAINTENANCE CURB
C100 NO SCALE

B TYPICAL LIGHT POLE MAINTENANCE CURB LAYOUTS
C100 NO SCALE





Consultant:

HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENT PROJECTS

Project Location: 1307 BADGER STREET
LA CROSSE, WI 54602

Sheet Title:
DEMO PLANS

HSR Project Number:
25046

Project Date:
DECEMBER 2025

Drawn By:
MPL

Key Plan:

**BID
DRAWINGS**

No.	Description	Date
A02	Addendum 2	01/08/26

Graphic Scale:
0' 2' 4' 8' 12'

Last Update:
1/7/2026 1:44:55 PM

A400



1 1ST FLOOR DEMO PLAN
1/8" = 1'-0"



DEMO GENERAL NOTES:

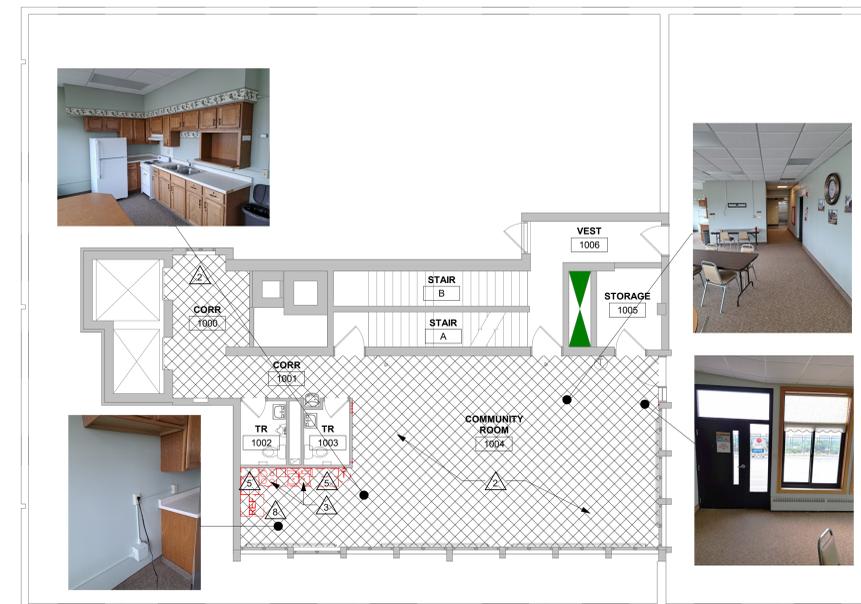
- A. ALL ITEMS SHOWN DASHED ON DEMOLITION PLANS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE NOTED. REFERENCE MEP DRAWINGS FOR APPLICABLE EQUIPMENT REMOVALS AND MODIFICATIONS. COORDINATE PATCHING AT EQUIPMENT REMOVALS.
- B. AT WALL TYPES MATERIALS: PREPARATION FOR NEW FINISHES SHALL INCLUDE, BUT NOT BE LIMITED TO REMOVAL OF EXISTING FINISHES, TAPES, GLUES/MASTIC, NAILS AND RELATED ITEMS. PATCHING OF HOLES, INDENTATIONS AND CRACKS FOR AN ACCEPTABLE SURFACE FOR NEW FINISH INSTALLATION.
- C. OWNER WILL REMOVE LOOSE FURNISHINGS AND EQUIPMENT FROM THE WORK AREA PRIOR TO START OF CONSTRUCTION.
- D. MAINTAIN ALL EXIT DOORS AND CORRIDORS IN UNOBSTRUCTED OPERABLE CONDITION WITH SAFE PASSAGE AWAY FROM THE BUILDING.
- E. COORDINATE STORAGE LOCATIONS FOR SALVAGED ITEMS WITH OWNER.
- F. PROVIDE FLOOR PROTECTION AS SPECIFIED AT DEBRIS REMOVAL PATHS THROUGH BUILDING.

DEMO PLAN LEGEND:

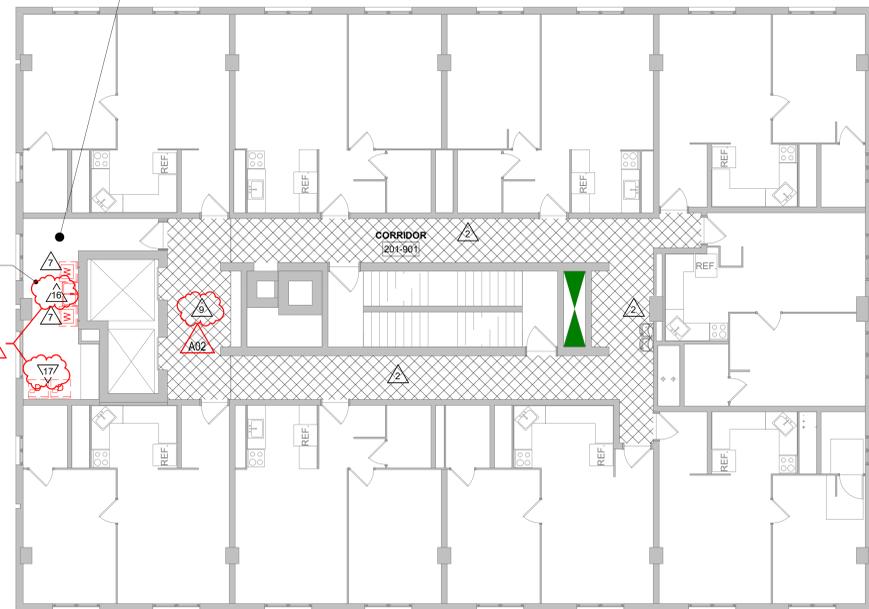
- △ SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET
- - - REMOVE ITEMS NOTED WITH DASHED LINES
- SYMBOL INDICATES REMOVAL OF DOOR AND FRAME UNLESS NOTED OTHERWISE
- ▨ PATTERN INDICATES AREA OF FLOOR REMOVAL

DEMO KEY NOTES

- 1 REMOVE CLOTH AND METAL FRAME CANOPY.
- 2 REMOVE CARPET. PREPARE CONCRETE AS REQUIRED FOR NEW FLOORINGS.
- 3 REMOVE PLASTER PARTITIONS, PATCH FLOOR AS REQUIRED FOR NEW FINISHES.
- 4 REMOVE PLASTER PARTITIONS, PATCH FLOOR AS REQUIRED FOR NEW FINISHES.
- 5 REMOVE COUNTER TOP, BASE AND WALL CABINETS. SALVAGE TO OWNER.
- 6 REMOVE TOILET ROOM INTERIOR COMPLETELY, INCLUDING PLUMBING FIXTURES, AND FLOORING. INFILL FLOOR/WALL OPENINGS AS REQUIRED.
- 7 WASHERS AND OUTLET BOXES TO BE REMOVED BY OWNER. ELECTRICAL BOXES TO REMAIN. CAP ALL PIPING. SEE PLUMBING.
- 8 REMOVE WALL PAPER BORDER. CLEAN AND PREP WALL AS REQUIRED FOR NEW FINISHES.
- 9 REMOVE LVP. PREPARE CONCRETE AS REQUIRED FOR NEW FLOORING. REMOVE ACCESS PANEL.
- 10 REMOVE AIR CONDITIONER COVER AND GRILL AT EXTERIOR. INFILL OPENING WITH STUDS, BATT INSULATION, AND GYP. BD. BRICK INFILL BY OTHERS.
- 11 REMOVE WINDOW, BLINDS AND SILL.
- 12 REMOVE WINDOW, BLINDS AND SILL.
- 13 LAUNDRY ROOM REMOVAL WORK TO BE COMPLETE AFTER COMPLETION OF NEW LAUNDRY ROOM.
- 14 PLASTER AND LATH CEILING TO BE REMOVED AT SHADED AREA. NOT USED.
- 15 UTILITY SINK TO BE REMOVED BY CONTRACTOR.
- 16 DRIVERS TO BE REMOVED BY OWNER. DRYER BOXES TO BE ABANDONED. ELECTRICAL BOXES TO REMAIN.
- 17 CUT OPENING IN PLASTER CEILING AS REQUIRED FOR NEW GRILLE-SEE MECH.



3 10TH FLOOR DEMO PLAN
1/8" = 1'-0"



2 2ND-9TH FLOOR DEMO
1/8" = 1'-0"



STOFFEL COURT



Consultant:

HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENT PROJECTS

Project Location: 1307 BADGER STREET
LA CROSSE, WI 54602

REMODEL PLANS

HSR Project Number:
25046

Project Date:
DECEMBER 2025

Drawn By:
MPL

Key Plan:

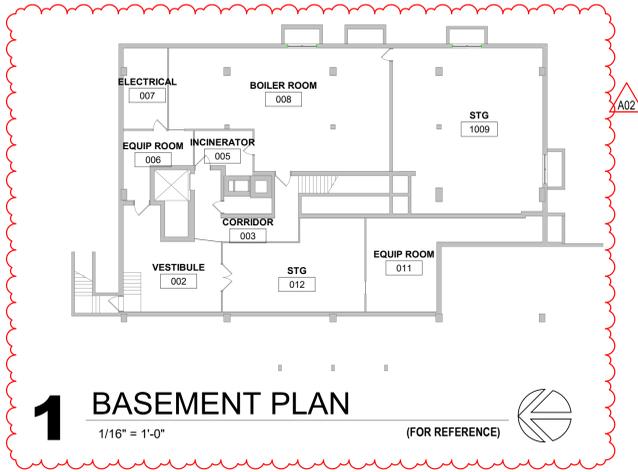
**BID
DRAWINGS**

No.	Description	Date
A02	Addendum 2	01/08/26

Graphic Scale:
VARIES

Last Update:
1/7/2026 1:44:55 PM

A410



1 BASEMENT PLAN
1/16" = 1'-0" (FOR REFERENCE)

- REMODEL GENERAL NOTES:**
- A. SEE ID SHEETS FOR FLOOR AND WALL FINISH LAYOUTS.
 - B. LOOSE FURNISHINGS EXCEPT AS NOTED SHALL BE PROVIDED AND INSTALLED BY THE OWNER.
 - C. SEE STRUCTURAL FOR SLAB CONTROL JOINTS.
 - D. VERIFY EXACT SIZE AND LOCATION OF ALL MECHANICAL / PLUMB AND ELEC OPENINGS - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH AT ALL VISIBLE AREAS. ALL OPENING SHALL BE SEALED AFTER UTILITY INSTALLATION.

- REMODEL LEGEND:**
- △ SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET
 - ⊙(A) SYMBOL INDICATES WINDOW TYPE- SEE SHEET A420
 - ⊙(A) SYMBOL INDICATES WALL TYPE- SEE SHEET A420

- REMODEL KEY NOTES**
1. NEW LVP FLOORING- SEE ID SHEETS.
 2. NEW PLASTIC LAMINATE CASEWORK- SEE SHEET A420
 3. INSTALL WASHING MACHINE OUTLET BOXES- SEE PLBG AND ELEC.
 4. INSTALL NEW FRP PANELS BEHIND APPLIANCES TO 5'-0" A.F.F. INSTALL CORNER GUARDS WHERE NOTED ON PLANS. MATCH FRP HEIGHT.
 5. T.O. WALL 5'-0" AFF W/ SOLID SURFACE CAP.
 6. NEW ACCESS PANEL AT FURRED OUT WALL. ALIGN WITH LOCATION OF EXISTING OPENING.
 7. NEW SINGLE BOWL UTILITY SINK.
 8. NEW STANDING SEAM RAINING WITH GUTTER. DISCHARGE TO SPLASHBLOCK AT GRADE.
 9. NOT USED.
 10. EXTEND WALL TO STRUCTURE ABOVE. ADJUST EXISTING CEILING TILES AND GRIDS AS REQUIRED. SEE 15A420.
 11. INSTALL NEW FRP PANELS COVER EXISTING OPENINGS AND DRYER BOXES. ALL ELECTRICAL OUTLETS TO REMAIN.



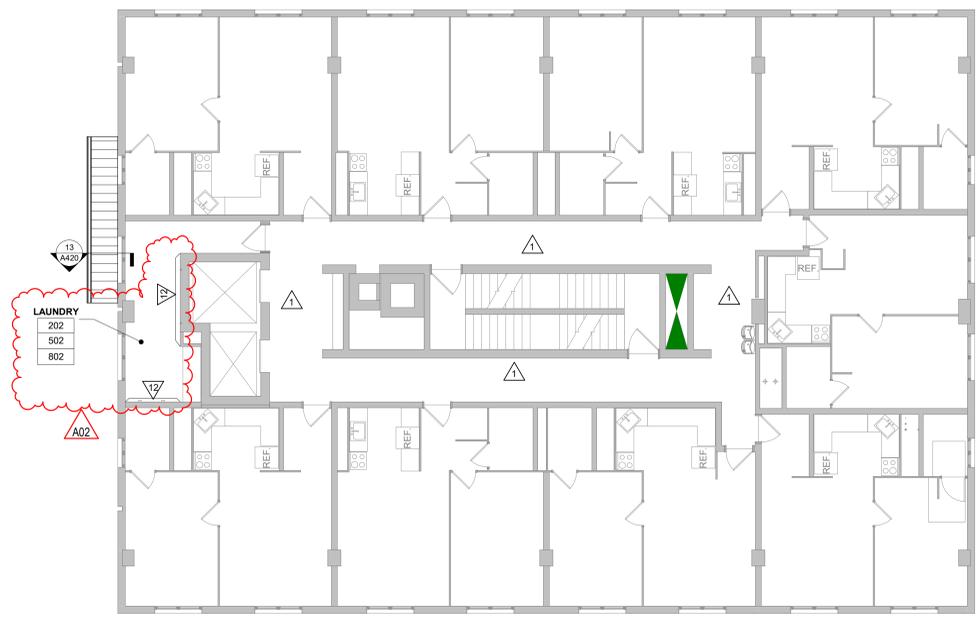
2 1ST FLOOR REMODEL PLAN
1/8" = 1'-0"



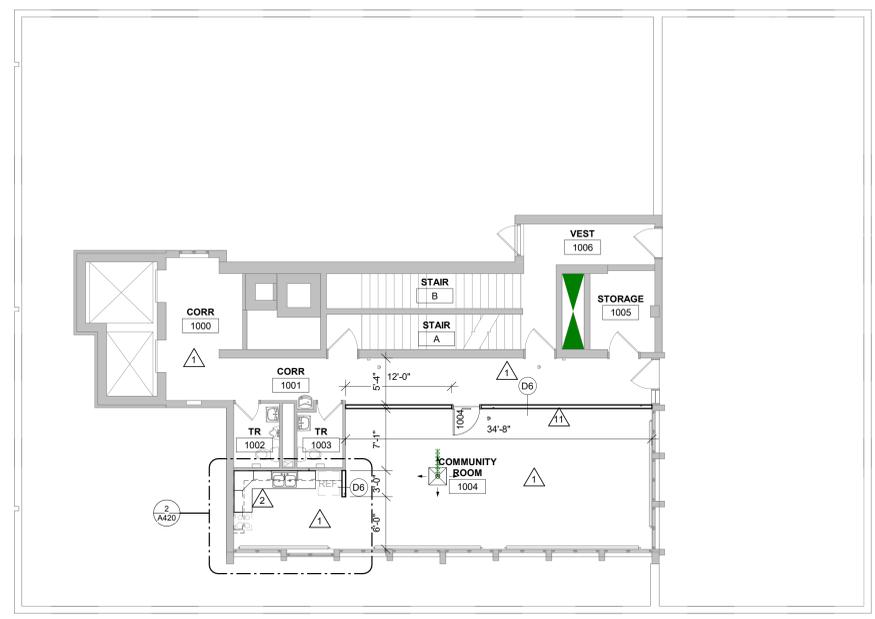
5 LAUNDRY ROOM CLG PLAN
1/8" = 1'-0"

- RCP GENERAL NOTES:**
- A. SEE MECHANICAL FOR CEILING GRILLE INFORMATION.
 - B. SEE ELECTRICAL FOR LIGHTING TYPES.
 - C. ALL REMAINING ANNULAR SPACE AROUND ITEMS PENETRATING WALLS SHALL BE NEATLY SEALED. PENETRATIONS OF FIRE RATED WALLS SHALL BE FIRESTOPPED WITH THE SAME AS THE WALL.
 - D. CEILING TYPES INSTALLED AS NOTED ON PLANS. SEE SPECIFICATIONS FOR ADDITIONAL SYSTEM INFORMATION. ACT 2-1 REGULAR EDGE.

- RCP KEY NOTES**
1. INSTALL NEW 2x2 AC TILE AND GRID SYSTEM.
 2. EXISTING GYP BOARD SOFFIT TO REMAIN.
 3. EXISTING PLASTER AND LATHE CEILING TO REMAIN.
 4. NEW TRANSFER GRILLE IN EXISTING PLASTER CEILING- SEE MECH.
 5. EXTEND STUDS AND GYP BD TIGHT TO DECK.
 6. EXTEND STUDS AND GYP BD TO 4" ABOVE DROPPED CEILING.
 7. EXTEND STUDS AND GYP BD TO EXISTING SOFFIT/RACEWAY.



3 2ND - 9TH FLOORS
1/8" = 1'-0"



4 10TH FLOOR
1/8" = 1'-0"

STOFFEL COURT



Consultant:

HSR Project Number:
25046

Project Date:
DECEMBER 2025

Drawn By:
MPL

Key Plan:

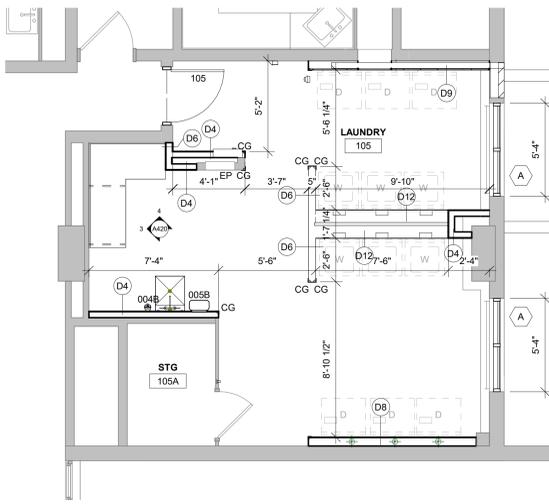
**BID
DRAWINGS**

Revisions:	No.	Description	Date
	A02	Addendum 2	01/08/26

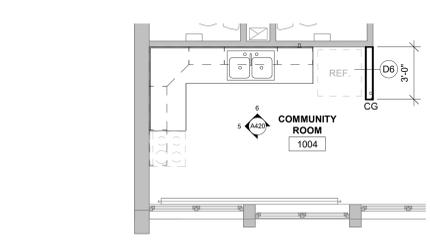
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VARIES

Last Update:
1/7/2026 1:44:58 PM

A420

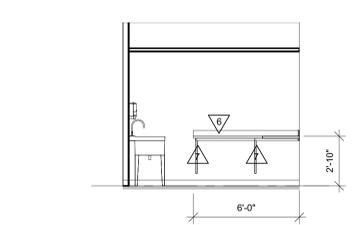


1 ENLARGED LAUNDRY ROOM
1/4" = 1'-0"



2 ENLARGED KITCHENETTE
1/4" = 1'-0"

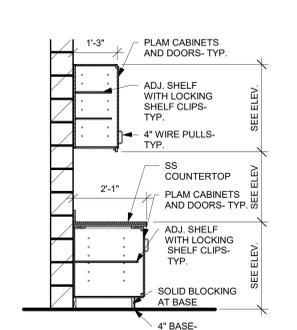
ACCESSORY SCHEDULE				
MARK	ITEM	LOC	HEIGHT A.F.F.	COMMENTS
004B	SOAP DISPENSER AUTOMATIC	X	SEE MOUNTING HEIGHTS DRAWINGS	
005B	PAPER TOWEL DISPENSER FOLD	X	SEE MOUNTING HEIGHTS DRAWINGS	



3 CSWK 105- NORTH
1/4" = 1'-0"



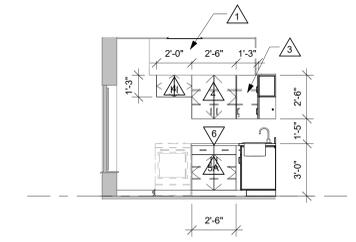
4 CSWK 105- EAST
1/4" = 1'-0"



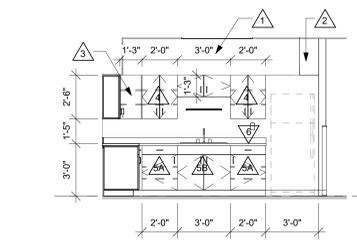
7 CSWK 105 SECTION
1/2" = 1'-0"

- CASEWORK GENERAL NOTES:**
- CASEWORK MANUFACTURER SHALL FIELD VERIFY ALL CASEWORK DIMENSIONS & CONDITIONS PRIOR TO FABRICATION OF CASEWORK.
 - PROVIDE FINISHED END PANELS AT ALL KNEE SPACE, ALCOVES, AND EXPOSED CABINET ENDS.
 - ALL BASE CABINET KICKS, ALCOVES, KNEE SPACE AND END PANELS SHALL RECEIVE BASE UNLESS OTHERWISE NOTED. SEE MASTER COLOR SCHEDULE FOR SIZE AND COLOR.
 - SEAL EDGE OF COUNTER/BACKSPLASH TO ALL WALL LOCATIONS W/ CLEAR SEALANT.
 - REFER TO MASTER COLOR SCHEDULE FOR PLASTIC LAMINATE SELECTIONS. ALL COUNTERTOPS TO BE SS-1. ALL LOWER/UPPER CASEWORK TO BE PLAM-1, UNLESS OTHERWISE NOTED.
 - WALL CABINETS SHALL BE 13 1/2" DEEP (CLEAR INSIDE) AND BASE CABINETS SHALL BE 24" DEEP UNLESS NOTED OTHERWISE. COUNTERTOPS TO EXTEND 1" BEYOND THE FINISHED EDGE OF BASE CABINET UNLESS NOTED OTHERWISE.
 - LAMINATE GRAIN TO ALIGN VERTICALLY ON ALL CASEWORK.
 - REFER TO ACCESSORY SCHEDULE ON THIS SHEET.

- KEYNOTES INT ELEVATION**
- EXISTING GYP BD SOFFIT.
 - EXTEND GYP BD SOFFIT TO NEW WALL.
 - PLASTIC LAMINATE CORNER CABINET. PROVIDE 2 ADJUSTABLE SHELVES. FINISH TO BE PLAM-1.
 - PLASTIC LAMINATE UPPER CABINET. 12" DEEP. PROVIDE 2 ADJUSTABLE SHELVES. FINISH TO BE PLAM-1.
 - PLASTIC LAMINATE BASE CABINET. 24" DEEP. PROVIDE 2 ADJUSTABLE SHELVES. FINISH TO BE PLAM-1.
 - PLASTIC LAMINATE SINK BASE. 24" DEEP. FINISH TO BE PLAM-1.
 - SOLID SURFACE COUNTERTOP. 24" DEEP WITH 4" BACKSPLASH. FINISH TO BE SS-1.
 - MIN 24"x24" COUNTER SUPPORT BRACKET. 4'-0" O.C. MAX.



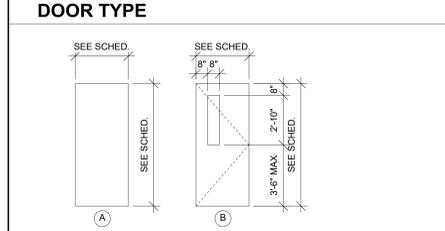
5 CSWK 1004- NORTH
1/4" = 1'-0"



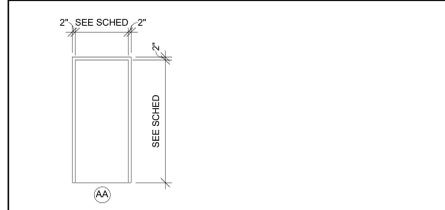
6 CSWK 1004- EAST
1/4" = 1'-0"

DOOR SCHEDULE - STOFFEL COURT												
MARK	DOOR			FRAME								
	SIZE W H T	DOOR TYPE	DOOR MATERIAL	GLASS TYPE	FRAME TYPE	FRAME DEPTH	FRAME MATERIAL	FIRE LABEL	HDWR GROUP	REMARKS		
105	3'-0"	7'-0"	1 3/4"	SCWD	GLT-4	EXISTO	5 3/4"	EXISTO	HM	20 MIN	1	12.3
1004	3'-0"	7'-0"	1 3/4"	DOOR A	SCWD		6"				2	2

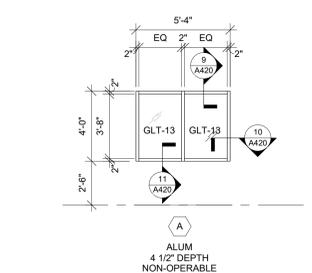
- DOOR SCHEDULE GENERAL NOTES**
- SCWD- SOLID CORE WOOD DOOR
 - A. SEE SPECIFICATIONS FOR DOOR HARDWARE GROUPS



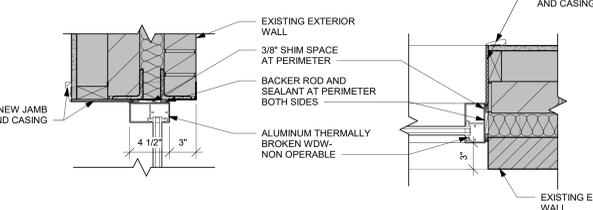
HM- HOLLOW METAL (PAINT)



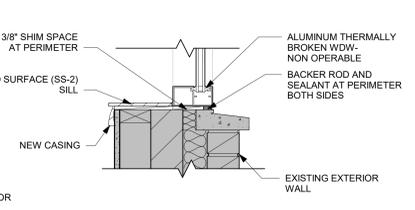
- DOOR SCHEDULE REMARKS**
- NEW DOOR IN EXISTING FRAME.
 - CARD ACCESS.
 - STAINLESS STEEL ARMOR PLATE AT PUSH SIDE OF DOOR.



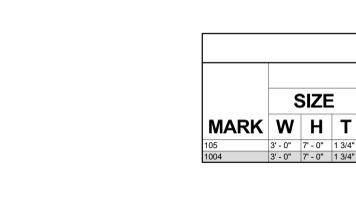
8 WDW TYPE
1/4" = 1'-0"



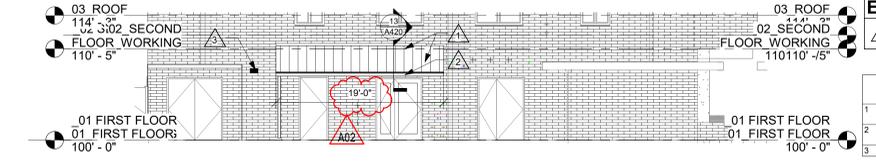
9 WDW HEAD
1 1/2" = 1'-0"



10 WDW JAMB
1 1/2" = 1'-0"



11 WDW SILL
1 1/2" = 1'-0"



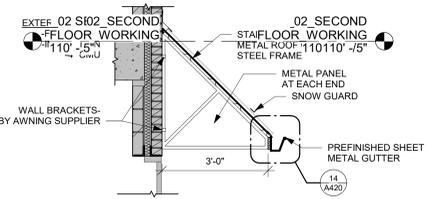
12 PARTIAL NORTH ELEVATION
1/8" = 1'-0"

ELEVATION LEGEND:

KEYNOTE TAG

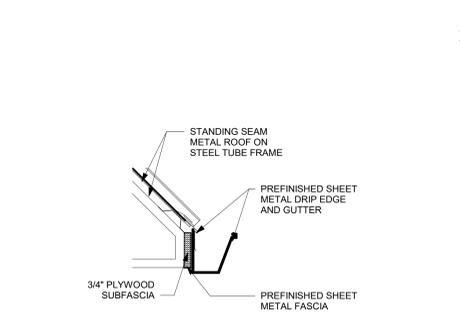
KEY NOTES ELEVATION

- STANDING SEAM METAL ROOF W/ MATCHING METAL PANEL AT EXPOSED ENDS.
- PREFINISHED SHEET METAL GUTTER AND DOWNSPOUT. DISCHARGE TO SPLASH. LOCK ON GRADE.
- OWNER TO RELOCATE SECURITY CAMERA.

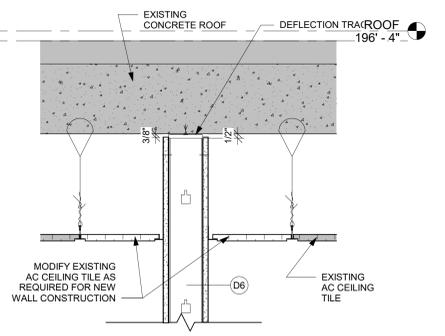


13 AWNING DETAIL
1/2" = 1'-0"

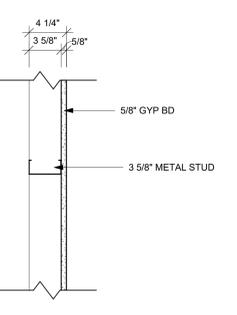
AWNING DETAILS SHOWN ARE BASE DESIGN. FINAL DESIGN, FABRICATION, AND INSTALLATION BY AWNING SUPPLIER.



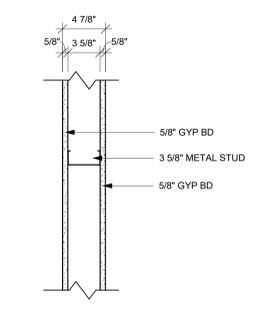
14 EAVE DETAIL
1 1/2" = 1'-0"



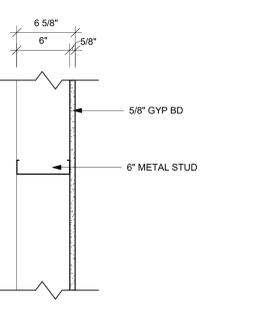
15 T.O. WALL DETAIL
1 1/2" = 1'-0"



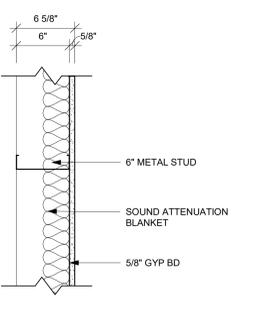
PARTITION TYPE	PARTITION WIDTH		FIRE RATING	UL #	STC RATING
	ACTUAL	NOMINAL			
D4	4 1/4"	4"	-	-	-



PARTITION TYPE	PARTITION WIDTH		FIRE RATING	UL #	STC RATING
	ACTUAL	NOMINAL			
D6	4 7/8"	5"	-	-	38



PARTITION TYPE	PARTITION WIDTH		FIRE RATING	UL #	STC RATING
	ACTUAL	NOMINAL			
D8	6 5/8"	7"	-	-	36

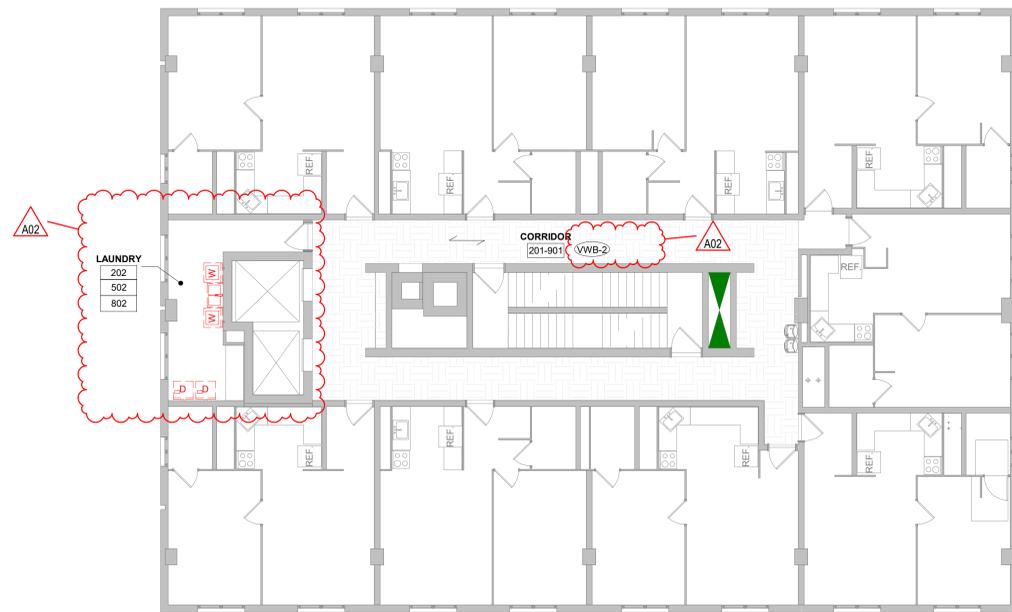


PARTITION TYPE	PARTITION WIDTH		FIRE RATING	UL #	STC RATING
	ACTUAL	NOMINAL			
D9	6 5/8"	7"	-	-	42

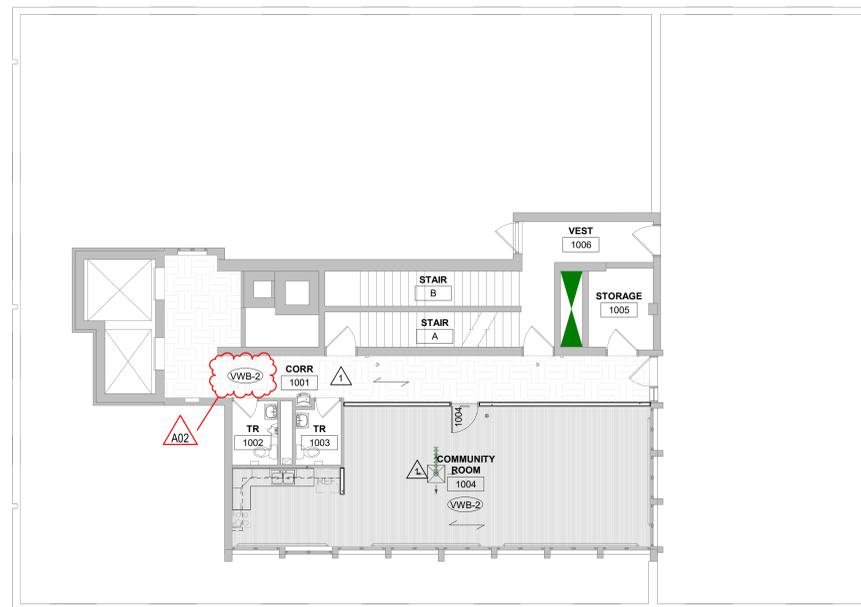
- WALL TYPE GENERAL NOTES:**
- REFER TO MASTER COLOR SCHEDULE AND INTERIOR DESIGN SHEETS FOR ADDITIONAL WALL FINISHES.
 - NON RATED WALLS, INCLUDING BULKHEADS SHALL HAVE FRAMING EXTENDED TO DECK ABOVE. GYP BOARD SHALL EXTEND TO 4" ABOVE CEILING UNLESS NOTED OTHERWISE. COLUMN FURRING MAY STOP 4" ABOVE CEILING.
 - EXTEND STUDS, GYP BOARD AND SOUND BLANKET TO DECK ABOVE AT SOUND CONTROL WALLS (INDICATED BY SOUND ATTENUATION BLANKETS. SOUND SEAL NOTE OR STC RATING). LEVEL OF FINISH ABOVE CEILING AS NOTED IN SECTION 09 21 16.
 - AT SOUND CONTROL WALLS (INDICATED BY SOUND ATTENUATION BLANKETS. SOUND SEAL NOTE OR STC RATING) APPLY CONTINUOUS BEAD OF ACOUSTICAL SEALANT AT FLOOR/CEILING TRACK STUDS AND STUD AT WALL. APPLY CONTINUOUS BEAD OF ACOUSTICAL SEALANT AT PERIMETER OF GYP BOARD HOLDING EDGE OF GYP BOARD AWAY FROM ADJACENT STRUCTURE NO MORE THAN 3/8" SEAL. ALL ME/PEP PENETRATIONS WITH SOUND BLANKET. BACKING, ACOUSTICAL SEALANT AND FIRE STOPPING. AFTER INSTALLING ONE SIDE OF GYP BOARD, APPLY OVERSIZED 2" SOUND BLANKET OVER BACK SIDE OF ELECTRICAL BOXES AND SIMILAR PENETRATIONS. WHERE WALL BOXES OCCUR AT OPPOSITE SIDES. APPLY INSULATION TO BACKSIDE OF WALL BOXES. AT FIRE RATED WALLS REQUIRING SOUND CONTROL, USE PUTTY PADS FOR REQUIRED WALL RATING. REFER TO TOP OF WALL DETAILS FOR INSTALLATION OF ADDITIONAL MATERIALS AT DECK AND APPLICATION OF RATED TOP OF WALL ASSEMBLIES.
 - INSTALL GYPSUM BOARD CONTROL JOINTS AT TOP OF ALL INTERIOR TOP OF DOOR JAMBS TO TOP OF GYPSUM BOARD WALLS. OTHER CONTROL JOINTS TO BE INSTALLED PER PLAN OR AT 30' O.C. MAX. REVIEW LOCATION REQUIREMENTS WITH A/E PRIOR TO START OF INSTALLATION OF GYPSUM BOARD ASSEMBLIES.
 - WHERE FIRE RATED WALLS ARE INDICATED BY WALL TYPE, USE UL OR EQUIVALENT APPROVED RATING SYSTEM INCLUDING TOP OF WALL AND PENETRATIONS.

WALL TYPES

STOFFEL COURT



1 2ND-9TH FINISH FLOOR PLAN
1/8" = 1'-0"



2 10TH FINISH FLOOR PLAN
1/8" = 1'-0"



3 ENLARGED LAUNDRY ROOM FINISHES
1/4" = 1'-0"

INTERIOR GENERAL NOTES:

- A. REFERENCES TO PAINT PERTAIN TO COLOR ONLY; PAINT TYPE SHALL BE IDENTIFIED IN THE ARCHITECTURAL SPECIFICATIONS.
- B. PNT-1 FIELD PAINT; ACCENT PAINT AS INDICATED. SEE ID SHEETS.
- C. REFER TO MASTER COLOR SCHEDULE ON ID560 FOR MATERIAL FINISH SPECIFICATIONS, ANNOTATIONS, AND ADDITIONAL INFORMATION.
- D. AT DISSIMILAR FLOORING FINISHES, SET JOINT OF MATERIALS AT CENTER OF DOOR. TRANSITIONS TO BE ADA COMPLIANT.

INTERIOR FINISH KEY PLAN:

- SEE ROOM FINISH REMARKS
- WALL BASE
- FLOOR GRAIN DIRECTION

INTERIOR FINISH LEGEND:

- LVT-1
- LVT-2

ROOM FINISH REMARKS

PAINT WALLS PNT-1



Consultant:

Project Title:
Project Location:

HSR Project Number:
25046

Project Date:
DECEMBER 2025

Drawn By:
BE

Key Plan:

**BID
DRAWINGS**

No.	Description	Date
A02	Addendum 2	01/08/26

Graphic Scale:
VARIES

Last Update:
1/7/2026 1:44:58 PM

ID410



Consultant:

HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENT PROJECTS
DEMO PLANS
Project Location: 1307 BADGER STREET
LA CROSSE, WI 54602
Project Title: STOFFEL COURT
Sheet Title: DEMO PLANS

HSR Project Number: 25046
Project Date: DECEMBER 2025
Drawn By: RJ
Key Plan:

BID DRAWINGS

Revisions:
No. Description Date
1 Addendum #2 10-26-18
Graphic Scale:
0' 1" 2" 4" 6"
Last Update: 1/7/2026 3:21:16 PM

P400

ABBREVIATIONS:

CWFU	COLD WATER FIXTURE UNIT
DFU	DRAINAGE FIXTURE UNIT
FFA	FROM FLOOR ABOVE
FFB	FROM FLOOR BELOW
FU	FIXTURE UNIT
HWFU	HOT WATER FIXTURE UNIT
TFA	TO FLOOR ABOVE
TFB	TO FLOOR BELOW

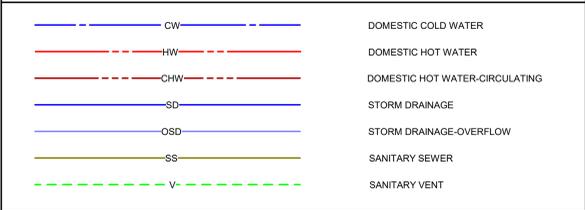
GENERAL PLUMBING NOTES:

- BUILDING SYSTEMS MUST REMAIN OPERATIONAL, UNLESS OTHERWISE PERMITTED BY OWNER. COORDINATE AS REQUIRED.
- PATCH ALL HOLES THROUGH FLOORS WITH NON-SHRINK GROUT.
- ALL WORK TO BE SCHEDULED AS DIRECTED BY OWNER. COORDINATE AS REQUIRED.
- VISIT THE BUILDING SITE AND BECOME THOROUGHLY FAMILIAR WITH ALL EXISTING CONDITIONS AFFECTING THE WORK.
- VERIFY ALL MEASUREMENTS, PIPE SIZES, PIPE LOCATIONS, ELEVATIONS, ETC. AT SITE.
- REVIEW, COORDINATE, AND SCHEDULE INSTALLATION OF WORK WITH OTHER TRADES.
- INSTALL ALL WORK SUBSTANTIALLY AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE APPROVED BY OWNER.
- INSTALL ALL WORK SUBSTANTIALLY AS SHOWN ON THE DRAWINGS. DEVIATIONS FROM LOCATIONS OF PIPING INDICATED ON THE DRAWINGS MAY HAVE TO BE MADE AT NO ADDITIONAL COST TO THE OWNER IN ORDER TO CLEAR THE WORK OF THE OTHER TRADES. HOWEVER, ALL SUCH DEVIATIONS SHALL BE PREVIOUSLY APPROVED BY THE OWNER'S REPRESENTATIVE.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL PLUMBING FIXTURES, STRUCTURAL DIMENSIONS AND LAYOUT. IT IS THE INTENT OF THESE DRAWINGS THAT EACH AFFECTED SYSTEM BE COMPLETE, WORKING, TESTED, AND OPERATIONAL. CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID OPENING. THE ENGINEER RESERVES THE RIGHT TO FINAL DECISION. INCLUDE ALL PLUMBING RELATED CUTTING, PATCHING AND/OR REMOVAL AND REPLACEMENT OF EXISTING WALLS, FLOORS & CEILING UNLESS OTHERWISE INDICATED.
- NO JOINTS SHALL BE INSTALLED IN UNDERFLOOR WATER PIPING. ALL WATER PIPING SHALL BE SO INSTALLED TO FACILITATE COMPLETE DRAINAGE.
- ALL FIXTURE WATER SUPPLY FLOW RATES SHALL CONFORM TO SPS 384.20(3).
- DOMESTIC WATER PIPE SIZING SHALL CONFORM TO SPS 382.40(7). FRICTION LOSS METHOD AND MAXIMUM FLOW VELOCITY OF 8 FPS. BACKFLOW PROTECTION SHALL BE PROVIDED TO ALL FIXTURES.
- SACKFLOW PROTECTION SHALL BE PROVIDED TO ALL FIXTURES. CONFORMING TO SPS 382.41(3).
- EACH FIXTURE SHALL BE VALVED. CONFORMING TO SPS 382.40(4)(b).
- TERMINATE WATER AND SANITARY LATERAL 5'-0" BEYOND EXTERIOR FACE OF FOUNDATION WALL. CONTINUATION SHALL BE UNDER A SEPARATE CONTRACT.
- UNLESS NOTED OTHERWISE ALL WASTE AND DRAIN PIPING 3" AND LARGER SHALL BE INSTALLED AT A SLOPE OF 1/8" PER FOOT. WASTE AND DRAIN PIPING 2" AND SMALLER AT 1/4" PER FOOT.
- CONNECT VENT PIPING ABOVE THE CENTERLINE OF HORIZONTAL DRAIN PIPING IN CONFORMANCE WITH SPS 382.11(5)(b).
- FIXTURE VENTS SHALL CONNECT TO OTHER BRANCH VENTS A MINIMUM OF 30" ABOVE THE FLOOR, CONFORMING TO SPS 382.31(15)(b).
- THE INSTALLATION OF PVC DWV PIPING IN BUILDING SHALL CONFORM TO SPS 384.40(14), WHEN APPLICABLE.
- WASTE STACK BASE CONNECTIONS SHALL BE MADE USING LONG SWEEP FITTINGS.
- CLEANOUTS SHALL CONFORM TO SPS 382.35(6) TABLE 82.35.
- ALL SINK VALVES SHALL USE A MAXIMUM OF 2.2 GPM, CONFORMING TO SPS 384.20(3).
- ALL LINE VALVES WHICH SERVE TWO OR MORE PLUMBING FIXTURES SHALL HAVE A FLOW OPENING NOT LESS THAN ONE NOMINAL PIPE SIZE SMALLER THAN THE NOMINAL SIZE OF THE PIPING CONNECTING TO THE VALVE, CONFORMING TO SPS 384.20(3).
- CUTTING, NOTCHING OR BORING OF METAL STUD WALL SYSTEM IS NOT PERMITTED UNLESS APPROVED BY THE MANUFACTURER AND THE STRUCTURAL INTEGRITY HAS NOT BEEN REDUCED TO UNACCEPTABLE LEVELS.
- PLASTIC PIPE MAY PENETRATE REQUIRED FIRE-RESISTIVE RATED FLOORS, WALLS, CEILING AND FIRE RATED ASSEMBLIES. PROTECTED WITH APPROVED FIRE-STOP SYSTEM HAVING AN F-RATING NOT LESS THAN THE HOURLY REMOVAL OF THE ASSEMBLY BEING PENETRATED.
- CORE DRILL OPENINGS IN EXISTING FLOOR/WALL, AS REQUIRED. SIZE OF OPENINGS SHALL NOT EXCEED 1" LARGER THAN THE O.D. OF THE PIPING PENETRATING THE ASSEMBLY. COORDINATE WITH DRAFT FIRE STOPPING REQUIREMENTS.
- IDENTIFY PIPING LOCATED ABOVE CEILING PRIOR TO CEILING GRID INSTALLATION.

PLUMBING SPECIFICATIONS:

- SECTION: SANITARY WASTE AND RAINWATER SYSTEMS**
- PIPING (NON-PLUMB APPLICATIONS):**
- POLYETHYLENE GLYCOL (PEEG)
 - PIPE: SCHEDULE 40, CLASS 12454 (PVC 1120), ASTM D1785
 - FITTINGS: DRAIN, WASTE AND VENT (DWV) PATTERN FITTINGS, ASTM D2689; SOCKET FITTING PATTERNS, ASTM D3311.
 - JOINTS: PRIMER, LOW VOC, ASTM F686; SOLVENT CEMENT, LOW VOC, ASTM D2094.
- PIPING (PLUMB APPLICATIONS):**
- CAST IRON
 - PIPE: HUBLESS CAST IRON PIPE, ASTM A-888, CISPI 301, NSF CERTIFIED
 - JOINTS: CAST IRON COUPLINGS WITH NEOPRENE GASKETS AND STAINLESS STEEL BOLTS AND NUTS, ASTM A-1056, MG COUPLINGS OR EQUAL.
- CLEANOUTS:**
- SIoux CHIEF, J.R. SMITH, JOSAM, WADE, WATTS, ZURN.
 - IN CONCRETE FLOORS:
 - J.R. SMITH FIG. 4023, 4033, OR 4028 WITH SPOUT, SPEED-SET, OR CALK OUTLET. CAST IRON ADJUSTABLE CLEANOUT WITH ROUND SCORATED N.B. COVER AND BRONZE PLUG, (2", 3", 4", 6" SIZES), OR
 - SIoux CHIEF NO. 850-2T, 850-3T, 850-4T ADJUSTABLE ACCESS COVER WITH ROUND TENZ ALLOY SCORATED COVER AND NO. 875 SERIES POLYPROPYLENE SLOTTED FLUSH PLUG, (1" & 2" SIZE).
 - SIoux CHIEF NO. 852-4PNQ852-3PNQ ADJUSTABLE ACCESS COVER WITH SQUARE NICKET-BRONZE SCORATED COVER AND NO. 878-60 POLYPROPYLENE PLUG.
 - IN RESILIENT OR CERAMIC TILE FLOOR:
 - J.R. SMITH FIG. 4043, 4053, OR 4048 WITH SPOUT, SPEED-SET OR CALK OUTLET. CAST IRON ADJUSTABLE CLEANOUT WITH SQUARE SCORATED N.B. COVER AND BRONZE PLUG, OR
 - SIoux CHIEF NO. 850-3T ADJUSTABLE ACCESS COVER WITH ROUND TENZ ALLOY SCORATED COVER AND NO. 878-60 POLYPROPYLENE SLOTTED FLUSH PLUG.
 - IN WALLS: INSTALL A THREADED BRONZE RAISED HEAD PLUG AND A J.R. SMITH FIG. 4710 OR ZURN MODEL Z-1469 ROUND STAINLESS STEEL CLEANOUT ACCESS COVER WITH SECURING SCREW.

PLUMBING AND PIPING SYMBOLS



PLUMBING FIXTURE SCHEDULE

FIXTURE SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	MATERIAL DESCRIPTION	MANUFACTURER	TRIM MODEL NO.	FINISH
LT-1	LAUNDRY TUB	MUSTEE	19F	MOLDED PVC	ELKAY	LK2000CR	CHROME
S-1	SINK - DOUBLE	ELKAY	LR321-1	STAINLESS STEEL	ELKAY	LK1500CR	STAINLESS STEEL
WB-1	WASHING MACHINE OUTLET BOX	SIoux CHIEF	696-2313MF	ABS			WHITE

PLUMBING SPECIFICATIONS:

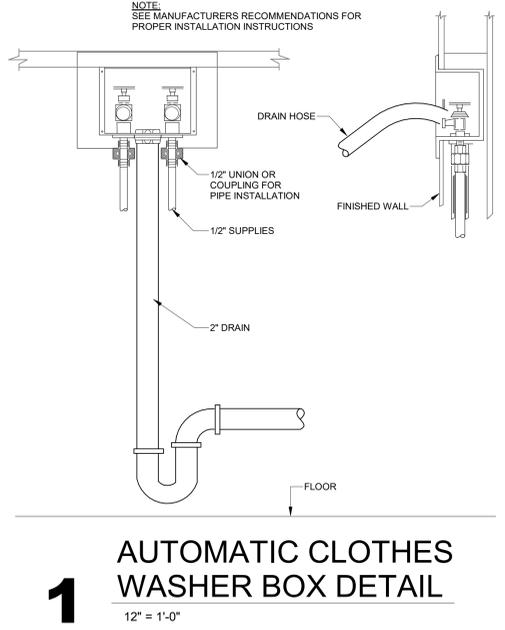
- SECTION: DOMESTIC WATER**
- PIPING:**
- COPPER TUBE, TYPE L, HARD DRAWN, ASTM B88
 - FITTINGS:
 - CAST COPPER ALLOY, SOLDER JOINT, PRESSURE RATED, ANSI B16.18
 - WROUGHT COPPER, SOLDER JOINT, PRESSURE RATED, ANSI B16.22
 - COPPER, PRESS FIT JOINT, EPDM O-RING, ANSI B16.51, 0" - 250°F, MAXIMUM 200 PSIG. PROGRESS BY VIEGA, APOLLO/PROGRESS BY APOLLO FLOW CONTROLS OR PRESSYSTEM BY NIBCO.
 - JOINTS:
 - LEAD FREE (<0.2%) SOLDER, ASTM B32, FLUX, ASTM B813
 - PRESS FIT JOINT, EPDM O-RINGS, MADE WITH ELECTRO-HYDRAULIC CRIMPING TOOL AND JAW CORRECT FOR PIPE SIZE.
- VALVES:**
- A. PRESS SYSTEM VALVES:**
- NIBCO, APOLLO
 - BALL VALVES - 2" AND SMALLER, NIBCO #PF-885-70 (MALE END) OR PS-885-70 (FEMALE END), FULL PORT TWO PIECE (1/2" - 2" SIZES), RTFE STEM PACKING, GLAND NUT, BRONZE BODY WITH 15% ZINC, CHROME PLATED BALL, REINFORCED TEFLOON SEATS (RTFE), BLOW-OUT PROOF STEM, ADJUSTABLE PACKING GLAND, 600 PSI WOG, 200°F MAXIMUM OPERATING TEMPERATURE.
 - BALL VALVES:
 - APOLLO, CRANE, HAWK, JOMAR, KITZ, MILWAUKEE, NIBCO, VIEGA, PROGRESS, WATTS
 - STANDARD PORT TWOPIECE (1/2" - 4" SIZES), APOLLO #70-F-100 SERIES, THREADED ENDS OR APOLLO #70-F-200 SERIES, SOLDER ENDS, RTFE STEM PACKING, GLAND NUT, LEAD FREE BRONZE BODY (LESS THAN 15% ZINC), CHROME PLATED BALL, REINFORCED TEFLOON SEATS (RTFE), BLOW-OUT PROOF STEM, REINFORCED TEFLOON SEATS (RTFE), 600 PSI CWP, ALL MATERIALS IN CONTACT WITH POTABLE WATER SHALL NOT CONTAIN MORE THAN 0.25% LEAD CONTENT PER SDWA 1417(A) (1)(A) - 2011, NSF/ANSI STANDARD 372 LEAD FREE, ANSI 3RD PARTY CERTIFIED, MAXIMUM TEMPERATURE RATING SHALL BE 210°F
 - PROVIDE 1-1/4" STEM EXTENSIONS ON ALL HOT WATER PIPING INSULATED WITH MORE THAN 1/2" THICK INSULATION.
 - INCLUDE A NON-ROTATING SLEEVE WITH CAP ABOVE THE STEM EXTENSIONS ON ALL INSULATED COLD WATER PIPING TO FACILITATE VAPOR BARRIER SEAL, SIMILAR TO MILWAUKEE "X" STEM EXTENSION WITH EXTERNAL PLASTIC SHIELD, OR APOLLO "THERMAL-SEAL" INSULATING TIE HANDLE, OR NIBCO "NB-SEAL" INSULATED HANDLE WITH EQUIVALENT BALL VALVES, OR NIBCO "CS" EXTENDED LEVER HANDLE.

REMOVAL NOTES:

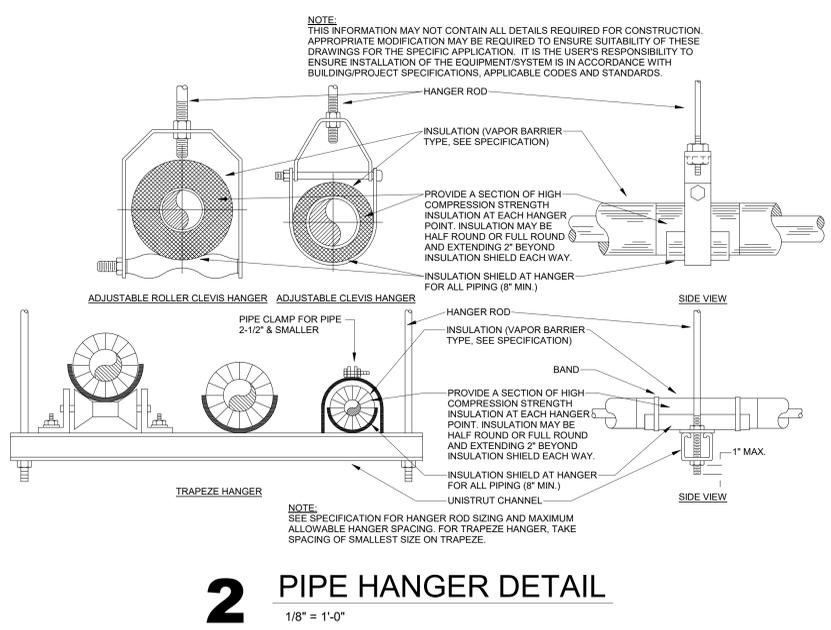
- REMOVE ALL EXISTING PLUMBING, INCLUDING PIPING IN WALLS BEING REMOVED, CHASES BEING REMOVED, OR ABOVE CEILING(S), FIXTURES, ETC. WITHIN BUILDING, INCLUDING BUT NOT LIMITED TO THAT WHICH IS SHOWN. FIELD VERIFY LOCATION AND SIZE OF PIPING, FIXTURES, ETC., AS REQUIRED. OTHER PIPING EXISTING, AND IS NOT SHOWN OR INDICATED TO BE REUSED, SHALL BE REMOVED. DISPOSE OF ALL REMOVED MATERIAL, OFF SITE.
- PIPING IN REMAINING WALLS OR CHASES CONNECTED TO PLUMBING FIXTURES REMAINING SHALL NOT BE REMOVED. SEE REMODELING PLAN FOR RECONNECTION.
- REMOVE THE FOLLOWING LISTED PLUMBING FIXTURES AND RESPECTIVE WATER, WASTE AND VENT PIPING TO POINT OF RECONNECTION IN REMODELING OR TO MAIN, UNLESS PIPING IS BELOW FLOORS ON GRADE OR ABOVE NON-ACCESSIBLE CEILING(S) AND CAP/LUG BELOW FLOOR, ABOVE CEILING AND/OR BEHIND REMAINING WALLS AS REQUIRED. OR AS OTHERWISE SHOWN OR INDICATED ON PLANS. PATCH TO MATCH EXISTING FINISHES, UNLESS OTHERWISE SHOWN OR INDICATED ON ARCHITECTURAL PLANS. ALL FIXTURES AND RELATED FAUCETS, DRAIN ASSEMBLIES, MIXING VALVES, ETC. REMOVED SHALL BE FURNISHED TO THE OWNER OR DISPOSED OF AT THEIR DISCRETION. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGE DURING FIXTURE REMOVAL. COORDINATE WITH THE OWNER.
- REMOVE THE FOLLOWING LISTED PLUMBING FIXTURES AND RESPECTIVE WATER, WASTE AND VENT PIPING TO POINT OF RECONNECTION IN REMODELING OR TO MAIN, UNLESS PIPING IS BELOW FLOORS ON GRADE OR ABOVE NON-ACCESSIBLE CEILING(S) AND CAP/LUG BELOW FLOOR, ABOVE CEILING AND/OR BEHIND REMAINING WALLS AS REQUIRED. OR AS OTHERWISE SHOWN OR INDICATED ON PLANS. PATCH TO MATCH EXISTING FINISHES, UNLESS OTHERWISE SHOWN OR INDICATED ON ARCHITECTURAL PLANS. ALL FIXTURES AND RELATED FAUCETS, DRAIN ASSEMBLIES, MIXING VALVES, ETC. REMOVED SHALL BE FURNISHED TO THE OWNER OR DISPOSED OF AT THEIR DISCRETION. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGE DURING FIXTURE REMOVAL. COORDINATE WITH THE OWNER.

FIXTURE REMOVAL

Number	Description
1	SINK
2	BATH TUB
3	WATER CLOSET
4	LAVATORY SINK
5	WASHER WALL BOX
6	LAUNDRY TUB



1 AUTOMATIC CLOTHES WASHER BOX DETAIL
1/2" = 1'-0"

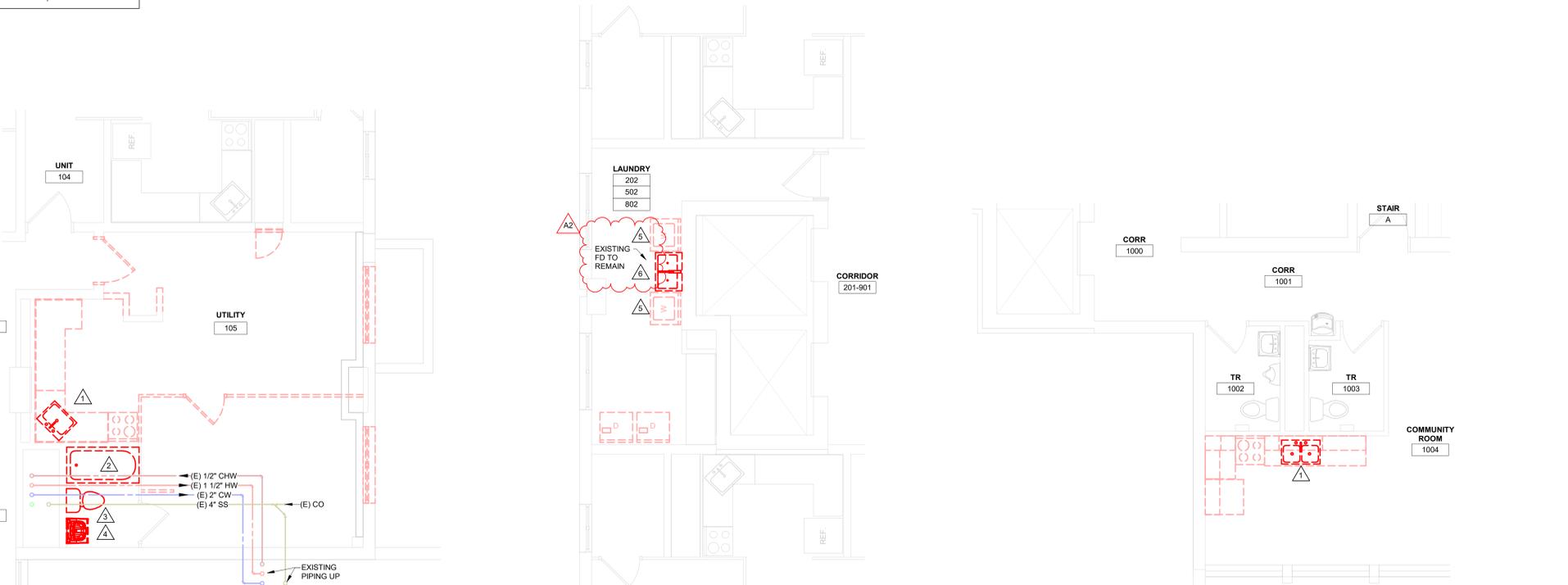


2 PIPE HANGER DETAIL
1/8" = 1'-0"

3 1ST FLOOR DEMO PLAN
1/4" = 1'-0"

4 2ND-9TH FLOOR DEMO PLAN
1/4" = 1'-0"

5 10TH FLOOR DEMO PLAN
1/4" = 1'-0"



STOFFEL COURT



Consultant:

HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENT PROJECTS

Project Location: 1307 BADGER STREET
LA CROSSE, WI 54602

Remodel Plans

Project Number: 25046

Project Date: DECEMBER 2025

Drawn By: RJ

Key Plan:

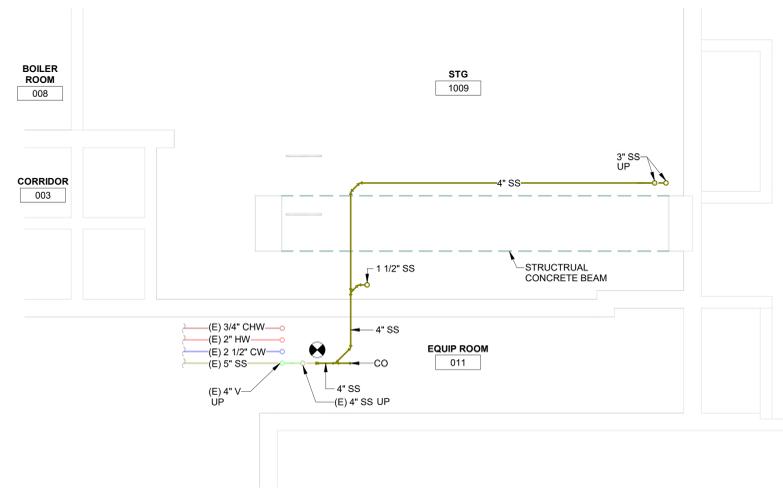
BID DRAWINGS

No.	Description	Date
1	Addendum #2	10-26-18

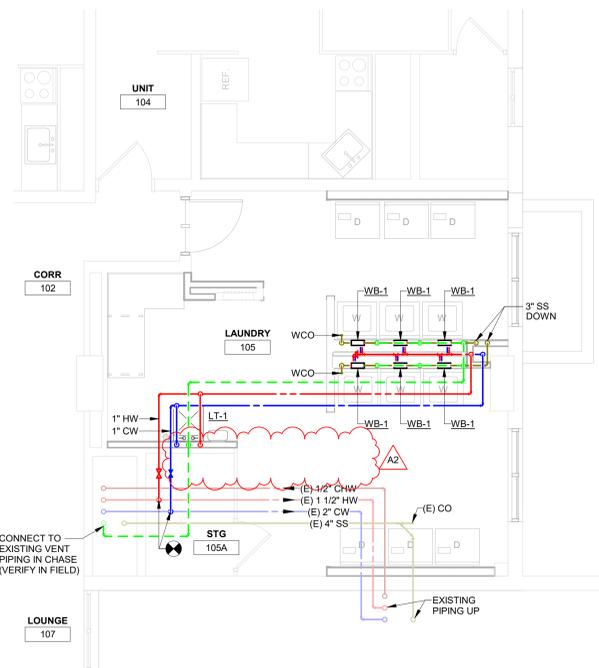
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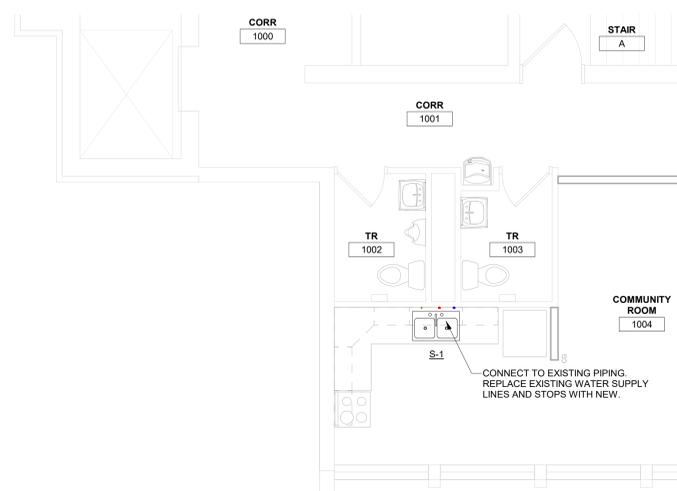
P401



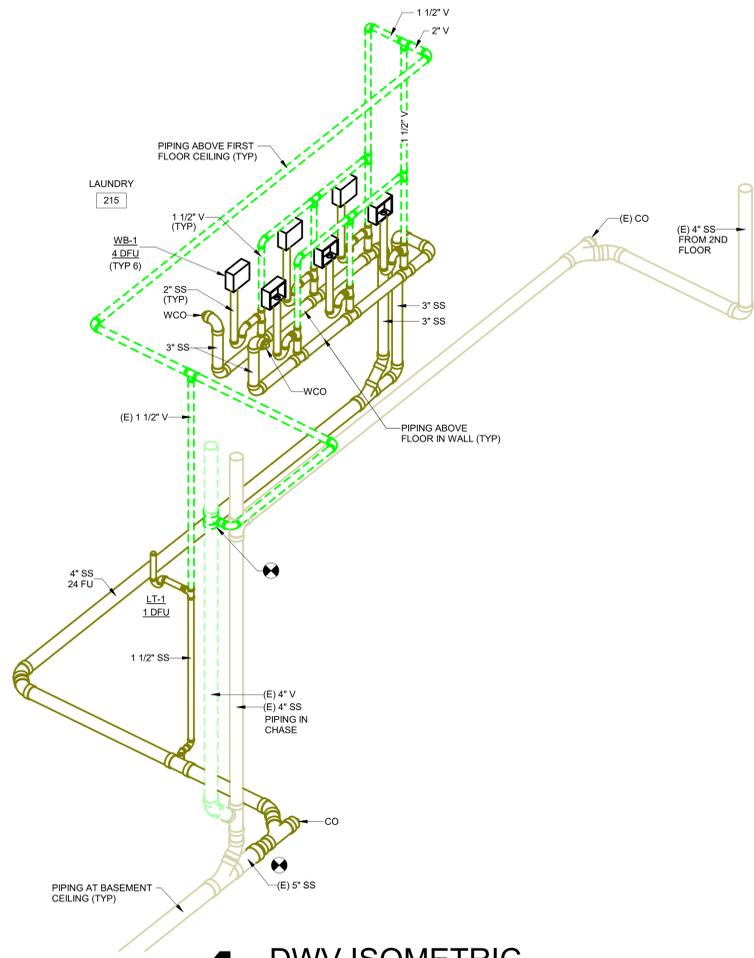
1 BASEMENT PLAN
1/4" = 1'-0"



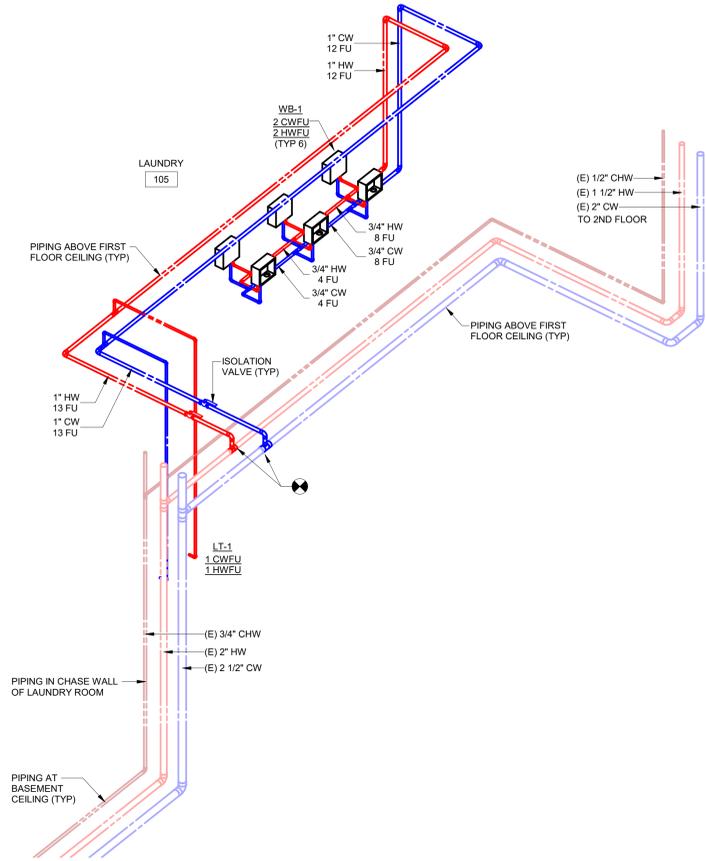
2 1ST FLOOR PLAN
1/4" = 1'-0"



3 10TH FLOOR PLAN
1/4" = 1'-0"



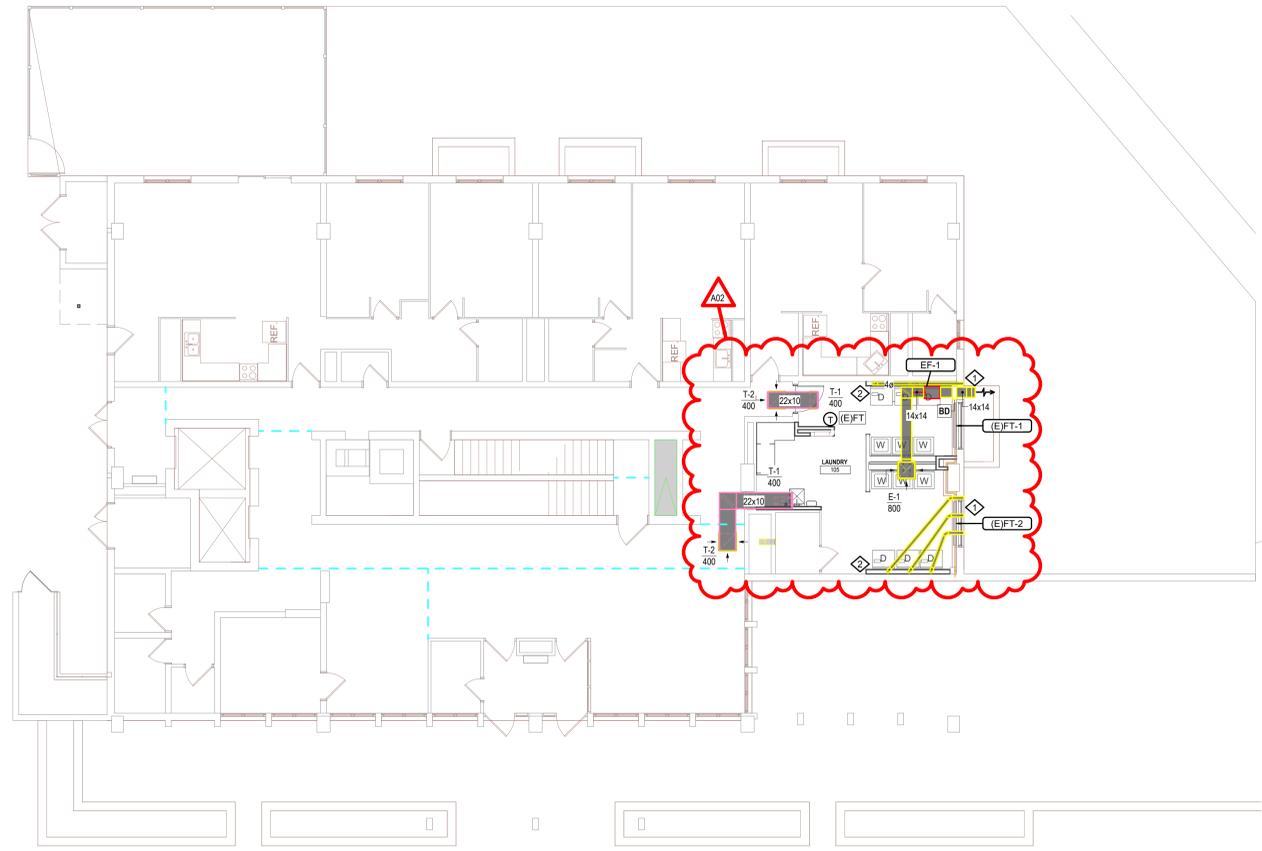
4 DWV ISOMETRIC



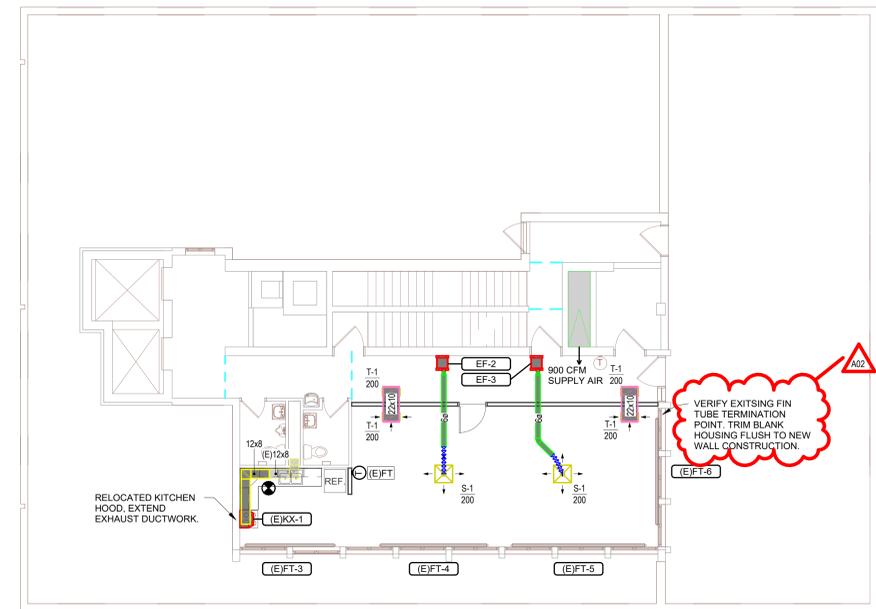
5 WATER ISOMETRIC

STOFFEL COURT

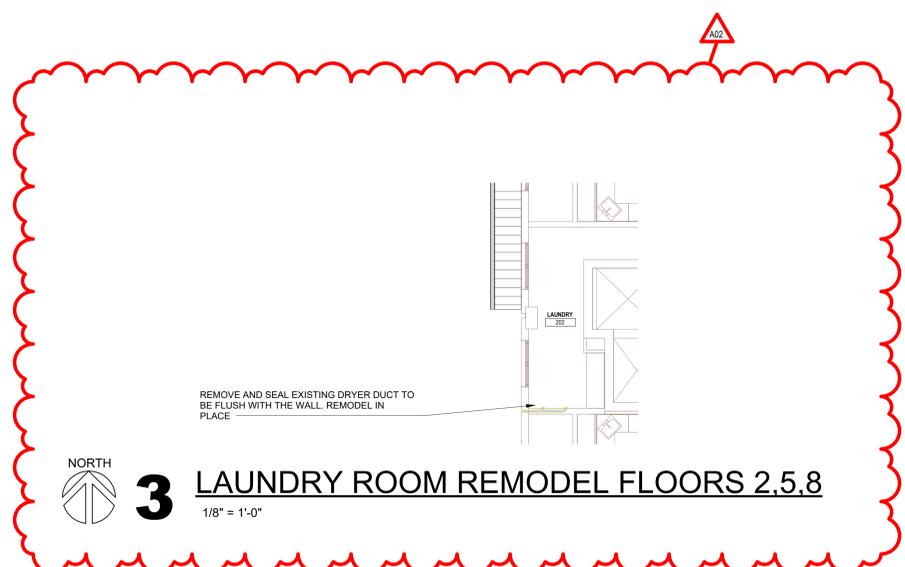
KEYNOTES - REMODEL	
Keynote Number	Keynote Description
#	COORDINATE EXACT LOCATION OF ALL CEILING MOUNTED GRILLES AND DIFFUSERS WITH CEILING GRID, SPRINKLER HEADS, RECESSED LIGHTING AND ALL OTHER CEILING MOUNTED EQUIPMENT.
1	DRYER TERMINATIONS SHOULD BE SPACED AT MIN 24" APART, UNLESS DRYER MANUFACTURER STATES DIFFERENTLY. PROVIDE IN-O-VATE DRYER DUCT DISCHARGE. SEE 23.33.10.
2	PROVIDE RECESSED DRYER BOXES & 4" DRYER DUCTED TO EXTERIOR FOR EACH DRYER. SEE 23.33.10.



1 MECHANICAL OVERALL REMODEL PLAN - 1ST FLOOR
1/8" = 1'-0"



2 MECHANICAL OVERALL REMODEL PLAN - 10TH FLOOR
1/8" = 1'-0"

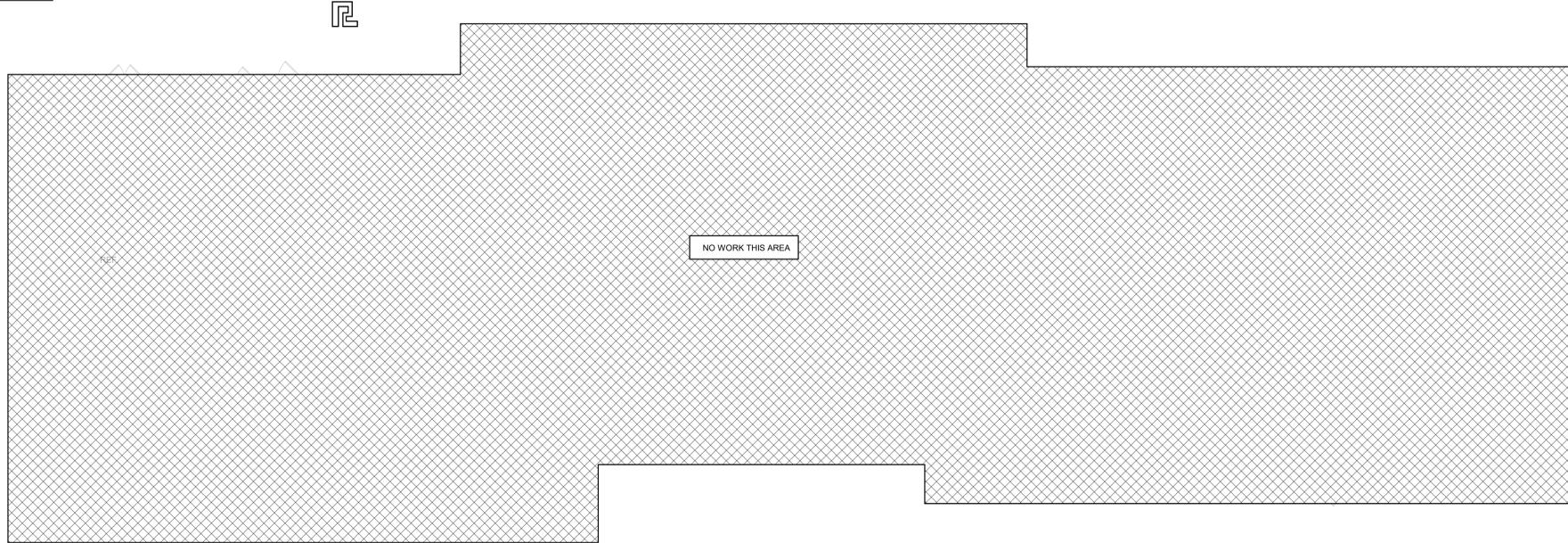


3 LAUNDRY ROOM REMODEL FLOORS 2,5,8
1/8" = 1'-0"

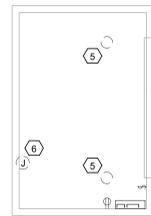
EXHAUST FAN SCHEDULE																				
UNIT NO.	MANUFACTURER	MODEL NO.	EXHAUST FAN						MOTOR				ELECTRICAL				REFERENCE		REMARKS: PROVIDE VIBRATION ISOLATION HANGERS, FACTORY MOUNTED SPEED CONTROLLER, ELECTRICAL DISCONNECT	
			AIRFLOW	TYPE	EXT. STATIC PRESS.	TOTAL STATIC PRESS.	FAN BRAKE POWER	FAN RPM	DRIVE TYPE	POWER	WEIGHT	MCA	MOP	FLA	VOLTAGE	PHASE	DETAIL NO.	CONTROL		
EF-1	GREENHECK	SQ-100-VG	800	Inline	0.25 in-wg	0.25 in-wg	0.07 hp	1154	DIRECT	0.25 hp	55 lbf	5 A	15 A	1 A	115 V	1	7M600	CONSTANT		
EF-2	GREENHECK	SP-A250	200	Ceiling Mount	0.25 in-wg	0.25 in-wg	0.02 hp	854	DIRECT	0.07 hp	26 lbf	3 A	15 A	1 A	115 V	1	6M600	CONSTANT		
EF-3	GREENHECK	SP-A250	200	Ceiling Mount	0.25 in-wg	0.25 in-wg	0.02 hp	854	DIRECT	0.07 hp	26 lbf	3 A	15 A	1 A	115 V	1	6M600	CONSTANT		
Grand total:			3																	

AIR DISTRIBUTION DEVICES SCHEDULE									
UNIT REF.	SYSTEM TYPE	SIZE	LOCATION	DAMPER	MANUFACTURER (OR EQUAL)	MODEL NUMBER	CONSTRUCTION	MOUNTING	COMMENTS
E-1	EXHAUST	24X24 GRILLE 22X22 DUCT CONNECTION	CEILING/DUCT		Krueger	S580H 3/4" FIXED DEFLECT	ALUMINUM	LAY-IN	
EXHAUST: 1									
SUPPLY									
S-1	SUPPLY	24x24 Neck Size 06"e	CEILING	-	Krueger	SERIES PLO 4-WAY	STEEL	LAY-IN	
SUPPLY: 2									
TRANSFER									
T-1	TRANSFER	24x12 Grille 22x10 Duct Connection	CEILING	-	Krueger	EGG-5 1/2" EGG CRATE	ALUMINUM	LAY-IN	
T-2	TRANSFER	24x24 Grille 22x22 Duct Connection	CEILING	-	Krueger	EGG-5 1/2" EGG CRATE	ALUMINUM	LAY-IN	
TRANSFER: 8									

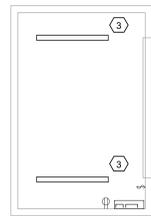
AREA OF WORK



1 OVERALL PLAN
1/8" = 1'-0"



2 SHED - DEMOLITION PLAN
1/4" = 1'-0"



3 SHED - LIGHTING PLAN
1/4" = 1'-0"



4 SHED - POWER PLAN
1/4" = 1'-0"

GENERAL NOTES:

- REFER TO E001 FOR NOTES AND SYMBOLS
- PROVIDE FIRE STOPPING AND SMOKE DRAFT STOPPING AT ALL CONDUIT PENETRATIONS. REFER TO SPECIFICATION SECTION 07 84 00 FOR FIRE RESISTIVE AND NON-FIRE RESISTIVE ASSEMBLIES.
- PROVIDE SEPARATE NEUTRAL CONDUCTORS FOR EACH RECEPTACLE BRANCH CIRCUIT. NO COMMON NEUTRALS TYPICAL.
- PROVIDE GROUND CONDUCTOR IN ALL CONDUITS.
- REMOVE ALL DEMOLISHED WIRING, CABLING, CONDUIT, AND DEVICES COMPLETE BACK TO SOURCE.
- "NLEM" INDICATES LIGHTING FIXTURE TO BE ON 24 HOURS WITH EMERGENCY BATTERY.
- REUSE EXISTING LIGHTING BRANCH CIRCUITS FOR UPGRADED LIGHTING IN THE EXISTING SPACE.

KEY NOTES

- EXISTING JUNCTION BOX FOR ELECTRICAL BASEBOARD HEATER. PRESERVE CIRCUIT AND INSTALL NEW UNIT IN EXISTING LOCATION. SEE MECHANICAL DRAWING FOR DETAILS.
- PROVIDE AND INSTALL NEW WALL PACK. MOUNT NEW UNIT IN PLACE OF EXISTING UNIT.
- PROVIDE AND INSTALL NEW 4' STRIP LIGHT FIXTURE. REUSE EXISTING LIGHTING CIRCUIT FOR NEW FIXTURES.
- PROVIDE AND REPLACE EXISTING BREAKERS WITH NEW 120V 20AMP BREAKERS
- REMOVE EXISTING LIGHT FIXTURE AND PRESERVE EXISTING CIRCUIT FOR REUSE.
- REMOVE EXISTING BASEBOARD SPACE HEATER AND PRESERVE EXISTING CIRCUIT FOR REUSE.



BID DRAWINGS

No.	Description	Date
A02	Addendum 2	01/08/26

Graphic Scale: VARIES

Last Update: 1/7/2026 11:29:28 AM

E310

EQUIPMENT SCHEDULE									
MARK NUMBER	DESCRIPTION	LOCATION ROOM NUMBER	RATING				WIRING SIZE		REMARKS
			KW	HP	VOLT	PH	CONDUCTORS	GRD.	
H-1	ELECTRICAL SPACE HEATER	SHED	12.6 FLA		120	1	2 #12	#12	1,2

REMARKS

1. PROVIDE TOGGLE SWITCH NEAR UNIT TO SERVE AS DISCONNECT.
2. PROVIDE NEW 120V 20AMP BREAKER FOR UNIT

LIGHT FIXTURE SCHEDULE												
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	VOLT	MOUNTING **					WATTS	COLOR TEMP.	REMARKS
					F	S	P	O				
SX	LUMARK	XTOR2B-4-BZ-PC1	WALL SCONCE WEATHERPROOF	UNIV.		*				18	4000K	1
S4X	DAYBRITE	VTS-4-50L-840-LN3-DIM	4' STRIP LIGHT WEATHERPROOF	UNIV.		*				44	4000K	2

* SEE REMARKS
** (F) FLUSH MOUNT; (S) SURFACE MOUNT; (P) PENDANT HUNG; (O) OTHER-SEE REMARKS IN REGARDS TO FIXTURE MOUNTING.

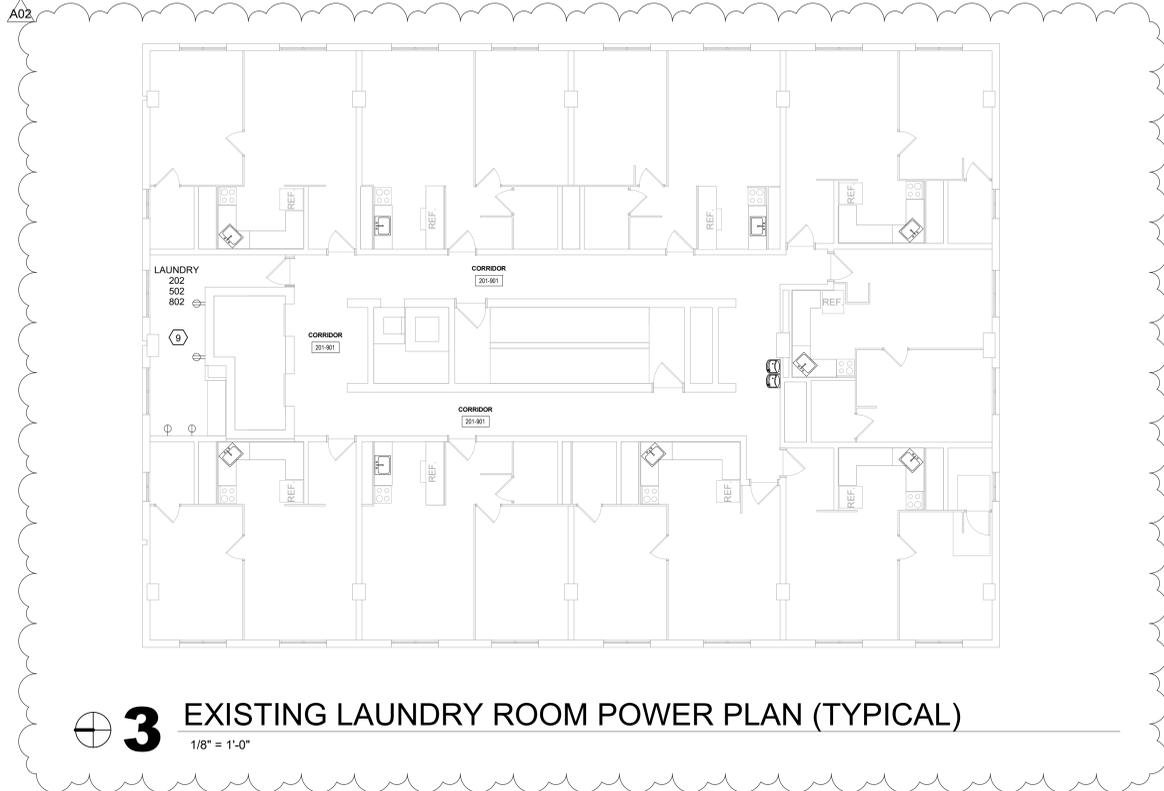
REMARKS

1. WALL MOUNT OUTDOOR SCONCE, 18W, 4000K, PHOTOCCELL.
2. 4' WEATHERPROOF STRIP LIGHT, 5000LM, 4000K, SURFACE MOUNTED.

EQUAL FIXTURES:

a. FIXTURES EQUAL IN ALL RESPECTS TO THE SPECIFIED FIXTURES MANUFACTURED BY: PHILIPS, COOPER LIGHTING, LITHONIA, COLUMBIA, HUBBELL, & DAYBRITE SHALL BE CONSIDERED AS EQUAL.

SOLBERG HEIGHTS

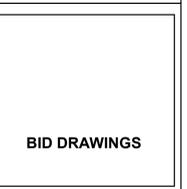
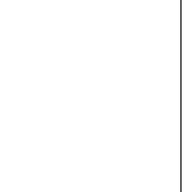
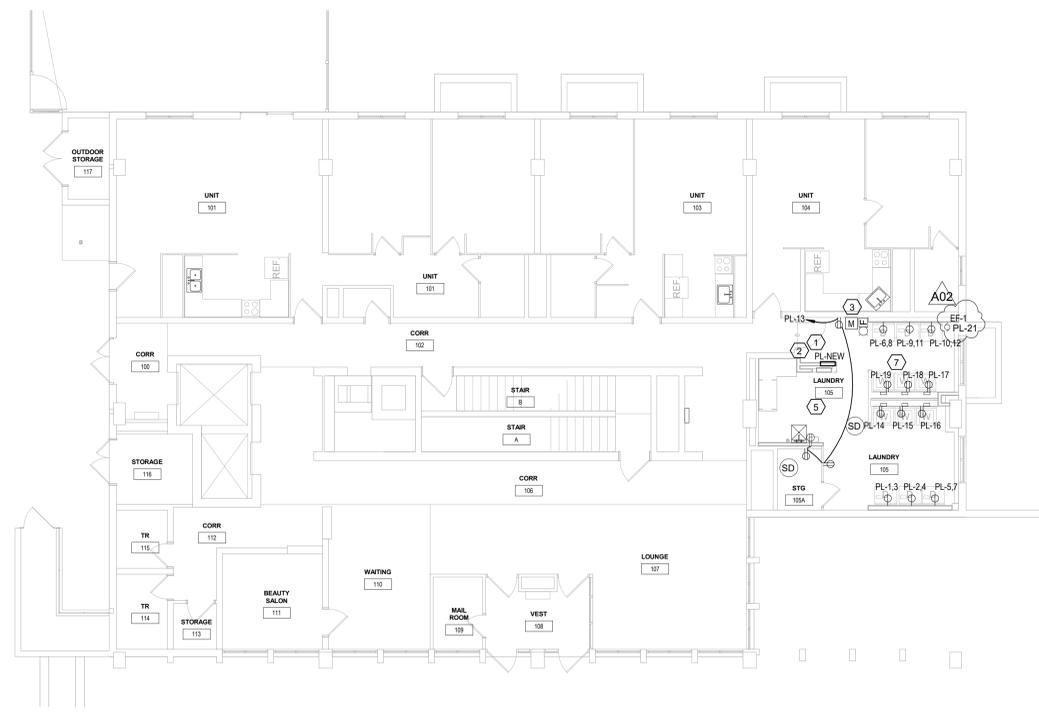
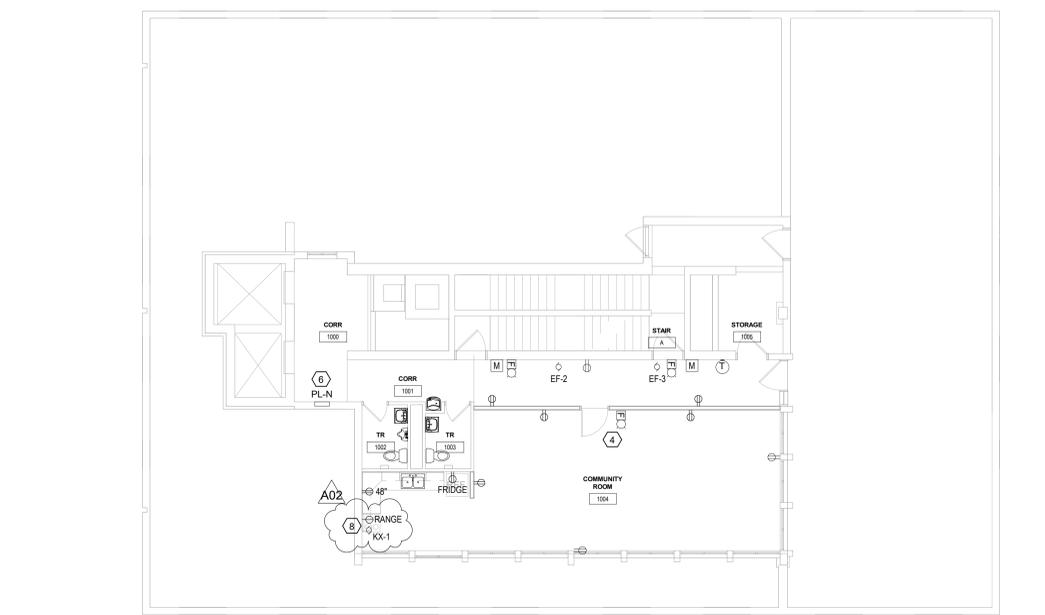


GENERAL POWER NOTES:

- REFER TO E001 FOR NOTES AND SYMBOLS
- REFER TO E460 SERIES FOR SCHEDULES AND DIAGRAMS.
- PROVIDE FIRE STOPPING AND SMOKE DRAFT STOPPING AT ALL CONDUIT PENETRATIONS. REFER TO SPECIFICATION SECTION 07 84 00 FOR FIRE RESISTIVE AND NON-FIRE RESISTIVE ASSEMBLIES.
- PROVIDE SEPARATE NEUTRAL CONDUCTORS FOR EACH RECEPTACLE BRANCH CIRCUIT. (NO COMMON NEUTRALS)
- PROVIDE GROUND CONDUCTOR IN ALL CONDUITS.

KEY NOTES POWER

- USE NEW PANEL FOR ALL NEW CIRCUITS IN THIS AREA.
- FEED THIS PANEL FROM BASEMENT SWITCHBOARD. SEE RISER DIAGRAM ON E460.
- PROVIDE AND INSTALL NEW MANUAL PULL STATION AND 15CD HORN STROBE. CONNECT TO EXISTING FIRE ALARM SYSTEM.
- PROVIDE AND INSTALL A NEW 15CD HORN STROBE. CONNECT TO EXISTING FIRE ALARM SYSTEM.
- COORDINATE SECURITY DEVICES AND SYSTEM LOCATIONS WITH OWNER.
- USE EXISTING PANEL FOR ALL NEW CIRCUITS IN NEW WORK AREA. PROVIDE NEW 120V 20 AMP BREAKERS FOR ALL NEW CIRCUITS.
- PROVIDE 30 AMP 4 WIRE DRYER PLUG RECEPTACLE FOR ALL NEW LOCATIONS.
- EXTEND EXISTING CIRCUITS FOR RANGE AND KITCHEN HOOD TO NEW LOCATIONS.
- EXISTING RECEPTACLE TO REMAIN. PROTECT DEVICES DURING REPAIRS.



No.	Description	Date
A02	Addendum 2	01/08/26

Graphic Scale:
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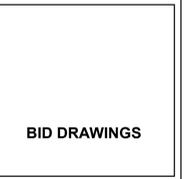
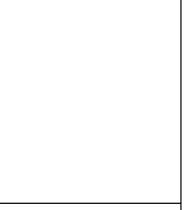
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GENERAL LIGHTING NOTES:

1. REFER TO E001 FOR NOTES AND SYMBOLS
2. REFER TO E400 SERIES FOR SCHEDULES AND DIAGRAMS.
3. *NLEMP* INDICATES LIGHTING FIXTURE TO BE ON 24 HOURS WITH EMERGENCY BATTERY.
4. REUSE EXISTING LIGHTING BRANCH CIRCUITS FOR UPGRADED LIGHTING IN THE EXISTING SPACE.

KEY NOTES LIGHTING

- 1 E.C. TO REUSE EXISTING LIGHTING CIRCUIT EXTEND AS NEEDED THIS AREA.
- 2 E.C. TO RE-INSTALL EXISTING LIGHT FIXTURES THIS AREA.

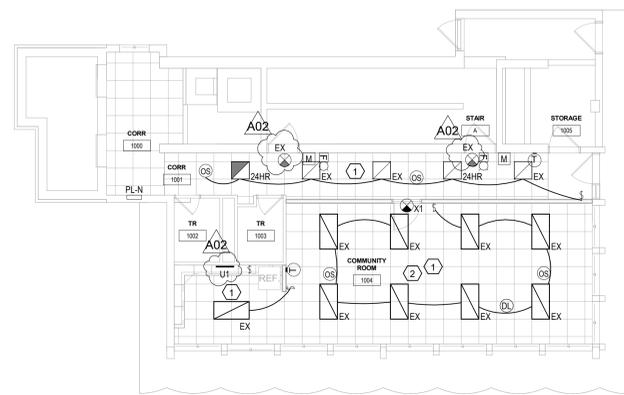


No.	Description	Date
A02	Addendum 2	01/08/26

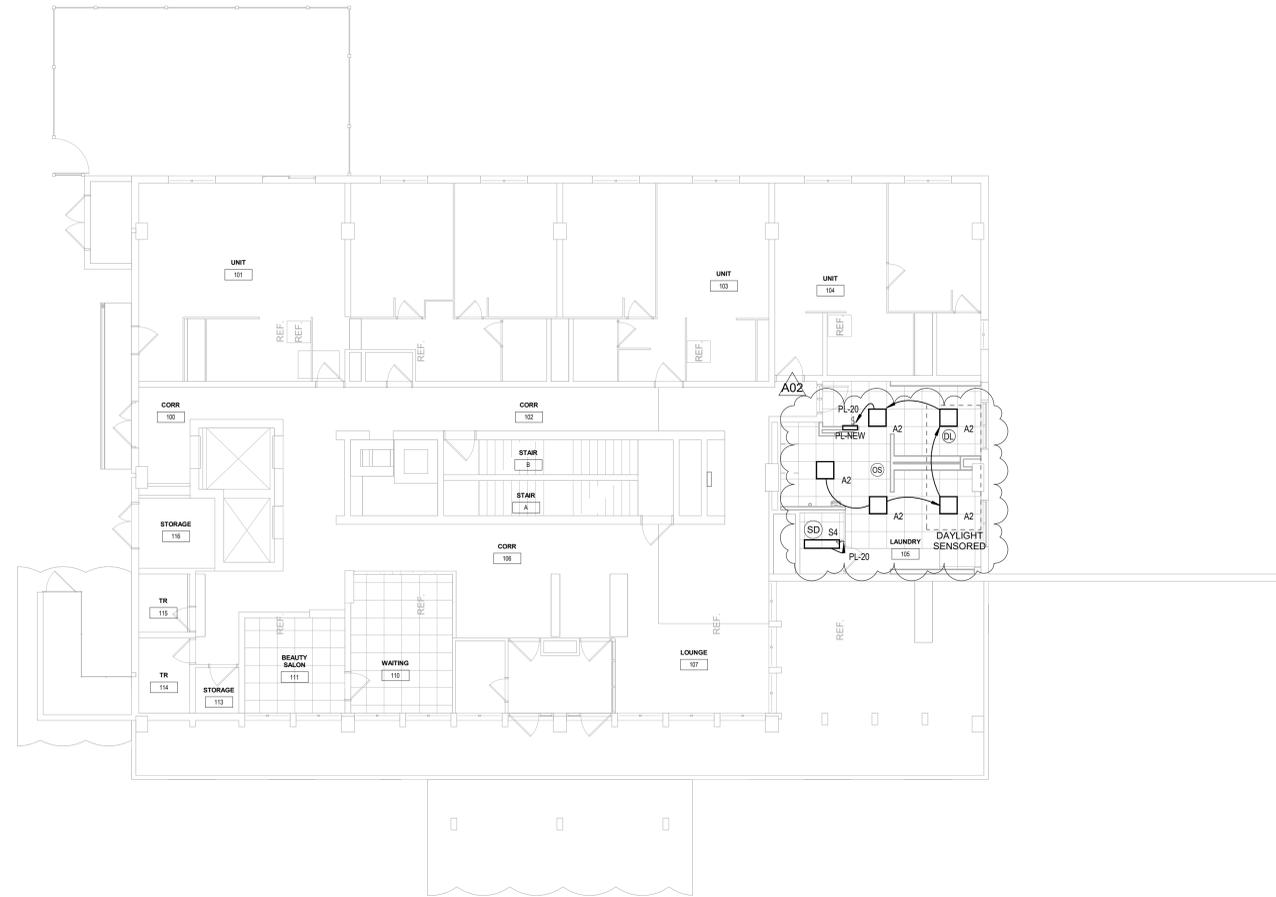
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E420

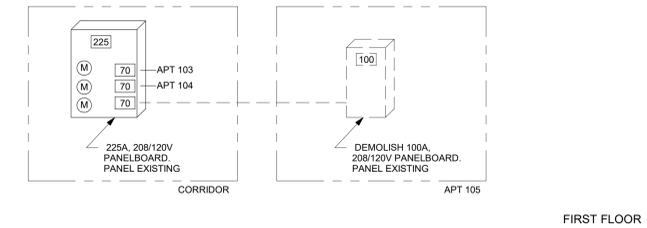


2 TENTH FLOOR LIGHTING PLAN
1/8" = 1'-0"



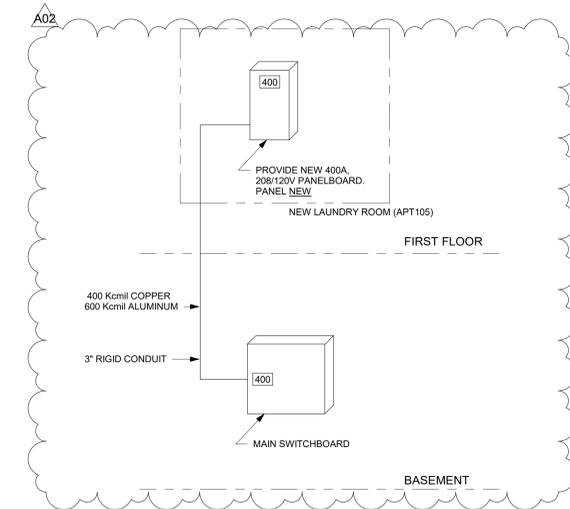
1 FIRST FLOOR LIGHTING PLAN
1/8" = 1'-0"

STOFFEL COURT



1 RISER DIAGRAM - FIRST FLOOR DEMOLITION

NTS



2 RISER DIAGRAM - FIRST FLOOR NEW

NTS

MOTOR SCHEDULE																	
MOTOR	DESCRIPTION	HVAC/PLBG. EQUIP. NO.	LOCATION ROOM NO.	MOTOR RATING					DISCONNECT BY		STARTER BY		CONTROL WIRING BY		WIRING SIZE		REMARKS
				HP	VOLT	PH	MCA	MOP	MECHELEC. TYPE ***	MECHELEC. TYPE	MECHELEC. TYPE	MECHELEC. TYPE	COND.	GRD.			
	EXHAUST FAN	EF-1	LAUNDRY 105	.25	120	1	5A	15A		X	TG	X		X	2 #12	#12	1,3
	EXHAUST FAN	EF-2	CORR 1001	.03	120	1	3A	15A		X	TG	X		X	2 #12	#12	1,3
	EXHAUST FAN	EF-3	CORR 1001	.03	120	1	3A	15A		X	TG	X		X	2 #12	#12	1,3
	KITCHEN HOOD FAN	KX-1	COMM RM 1004	.25	120	1	5A	15A		X	TG	X		X	2 #12	#12	2

SEE REMARKS
 *** (CB) CIRCUIT BREAKER; (CS) COMBINATION STARTER/DISCONNECT; (F) FUSED SAFETY SWITCH; (NF) NON FUSED SAFETY SWITCH; (TG) TOGGLE SWITCH(FVNR) FULL VOLTAGE NON-REVERSING MAGNETIC STARTER; (FVR) FULL VOLTAGE REVERSING MAGNETIC STARTER; (MS) MANUAL STARTER WITH OVERLOAD PROTECTION; (MSW) MANUAL SWITCH WITHOUT OVERLOAD PROTECTION; (MCC) MOTOR CONTROL CENTER; (PB) PUSH BUTTON STARTER; (VFD) VARIABLE FREQUENCY DRIVE; (MCA) MINIMUM CIRCUIT AMPS; (MOP) MAXIMUM OVER CURRENT PROTECTION.

REMARKS
 1. PROVIDE 120V 20AMP TOGGLE SAFETY SWITCH, FUSE AT MANUFACTURERS RECOMMENDATIONS.
 2. FUSE AT MANUFACTURERS RECOMMENDATIONS, DIRECT CONNECTION WITH CONTROLS ON UNIT.
 3. CONNECT TO MECHANICAL CONTROLS.

LIGHTING FIXTURE SCHEDULE												
TYPE	MANUFACTURE	CATALOG NUMBER	DESCRIPTION	VOLT	MOUNTING **					LAMPS		NOTES
					F	S	P	H	O	WATT	TYPE	
A4	LITHONIA	2BTL4-48L-SDSM-GZ1-LP840	2'X4' LED TROFFER	UNV	.					38	LED INCLUDED	1
A2	LITHONIA	2BTL2-20L-SDSM-GZ1-LP840	2'X2' LED TROFFER	UNV	.					22	LED INCLUDED	2
A2D	LITHONIA	2BTL2-20L-SDSM-GZ1-LP840 - N80-NESTADCX	2'X2' LED TROFFER WITH DAYLIGHT SENSOR	UNV	.					22	LED INCLUDED	3
U1	DAYBRITE	LINCS100E-L28-935-UNV-WHG-DIM-CSJT3	28" UNDERCABINET STRIP LIGHT	UNV	.					12	LED INCLUDED	
S4	DAYBRITE	1DSRT3050LCS-4-UNV-DIM	1'X4' LED TROFFER	UNV	.					23	LED INCLUDED	4
X1	LITHONIA	LQM-S-W-3-R-120/277	SINGLE FACED LED EXIT LIGHT	120/277	.					-	LED INCLUDED	1

SEE REMARKS
 ** (F) FLUSH MOUNT; (S) SURFACE MOUNT; (P) PENDANT HUNG; (O) OTHER-SEE REMARKS IN REGARDS TO FIXTURE MOUNTING.

NOTES
 1. THIS FIXTURE IS TO BE THE REPLACEMENT IF OWNERS EXISTING FIXTURE ARE DAMAGED IN DEMOLITION. CORRDINATE WITH OWNER.
 2. 2'X2' RECESSED FIXTURE, 2000 LUMENS, 4000K
 3. 2'X2' RECESSED FIXTURE, 2000 LUMENS, 4000K, DAYLIGHT SENSOR.
 4. 1'X4' RECESSED FIXTURE, 2900 LUMENS, 4000K

Branch Panel: PL-NEW												
Location: LAUNDRY 105			Volts: 120/208 Wye			A.I.C. Rating:			Mains Type:			
Supply From:			Phases: 3			Wires: 4			Mains Rating: 400 A			
Mounting: Recessed			Enclosure: Type 1			MCB Rating: 400 A						
Notes: FEED FROM BASEMENT PANEL A2 IN BOILER ROOM												
CKT	Circuit Description	Trip	Poles	A	B	C	Poles	Trip	Circuit Description	CKT		
PL-1	DRYER	30 A	2	3300...	3300...		2	30 A	DRYER	PL-2		
PL-3	DRYER	30 A	2	3300...	3300...	3300...	2	30 A	DRYER	PL-4		
PL-5	DRYER	30 A	2	3300...	3300...	3300...	2	30 A	DRYER	PL-6		
PL-7	DRYER	30 A	2	3300...	3300...	3300...	2	30 A	DRYER	PL-8		
PL-9	DRYER	30 A	2	3300...	3300...	3300...	2	30 A	DRYER	PL-10		
PL-11	UTILITY RECEPTALES	20 A	1	692 VA	2400...		1	20 A	WASHER	PL-12		
PL-13	WASHER	20 A	1	2400...	2400...		1	20 A	WASHER	PL-14		
PL-15	WASHER	20 A	1	2400...	2400...	2400...	1	20 A	WASHER	PL-16		
PL-17	WASHER	20 A	1	2400...	2400...	2400...	1	20 A	WASHER	PL-18		
PL-19	WASHER	20 A	1	2400...	160 VA		2	20 A	LIGHTS	PL-20		
PL-21	EF-1	20 A	1	2400...	0 VA		1	20 A	Spare	PL-22		
PL-23	Spare	20 A	1	0 VA	0 VA	0 VA	1	20 A	Spare	PL-24		
PL-25	Spare	20 A	1	0 VA	0 VA		1	30 A	Spare	PL-26		
PL-27										PL-28		
PL-29										PL-30		
PL-31										PL-32		
PL-33										PL-34		
PL-35										PL-36		
PL-37										PL-38		
PL-39										PL-40		
PL-41										PL-42		
Total Load:				18836 VA	19972 VA	18000 VA						
Total Amps:				158 A	168 A	150 A						

Legend:
 Load Classification: Electric Clothes Dryer (6600 VA, 100.00%, 6600 VA), Lighting - Dwelling Unit (160 VA, 100.00%, 160 VA), Motor (2400 VA, 125.00%, 3000 VA), Receptacle (180 VA, 100.00%, 180 VA), Receptacle - General (14940 VA, 83.47%, 12470 VA), Receptacle - Dedicated (33000 VA, 100.00%, 33000 VA)

Panel Totals:
 Total Conn. Load: 56778 VA
 Total Est. Demand: 54801 VA
 Total Conn.: 158 A
 Total Est. Demand: 152 A

Notes:

HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENT PROJECTS

Project Location: 1307 BADGER STREET
LA CROSSE, WI 54602

RISER DIAGRAM AND SCHEDULES

Project Title:
HSR Project Number:
25046

Project Date:
DECEMBER 2025

Drawn By:
HSR

Key Plan:

Revisions:

No.	Description	Date
A02	Addendum 2	01/08/26

Graphic Scale:
 Last Update:
17/07/2026 2:39:00 PM

STOFFEL COURT

BID DRAWINGS

E460



Consultant:

HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENT PROJECTS

Project Location: 1307 BADGER STREET
LA CROSSE, WI 54602

Sheet Title: SITE PLAN

HSR Project Number: 25046

Project Date: DECEMBER 2025

Drawn By: HSR

Key Plan:

BID DRAWINGS

No.	Description	Date
A02	Addendum 2	01/08/26

Graphic Scale:
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Last Update: 1/7/2026 11:54:48 AM

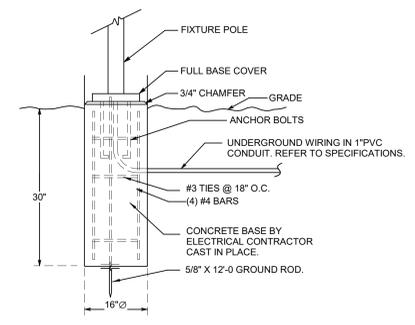
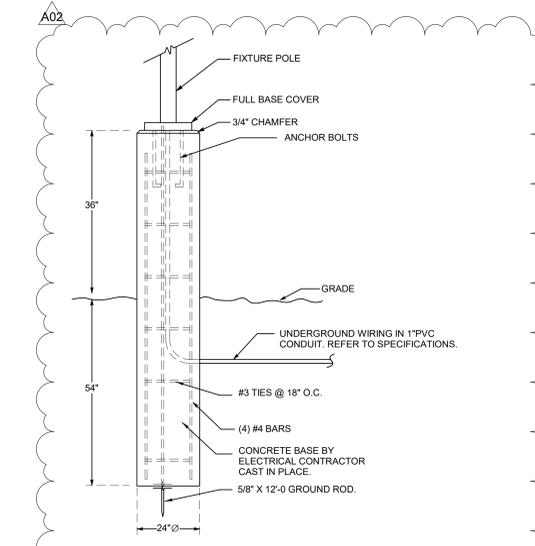
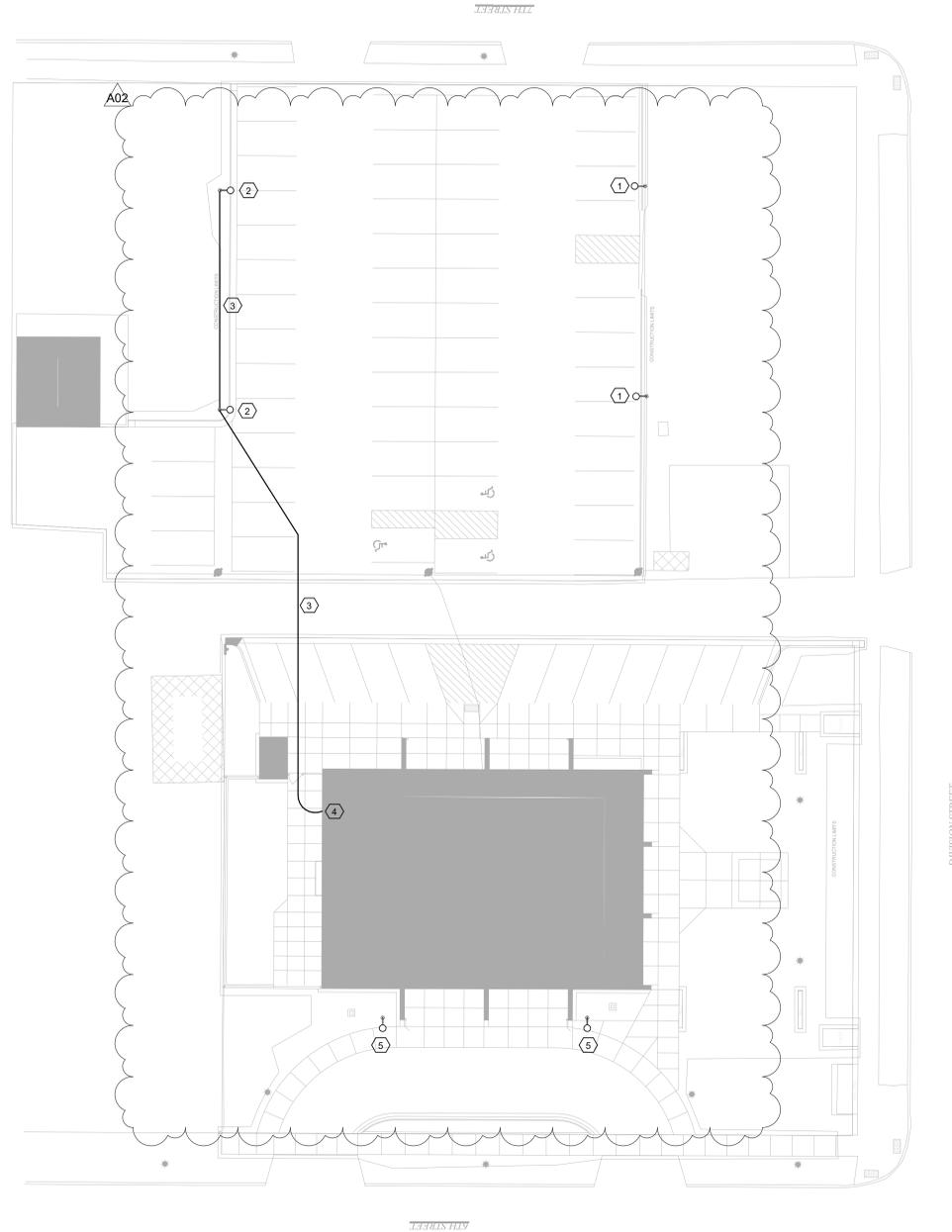
E501

GENERAL SITE NOTES:

- REFER TO E001 FOR NOTES AND SYMBOLS.
- REFER TO E520 FOR LIGHTING SCHEDULE. REFER TO E510 FOR EQUIPMENT SCHEDULE.
- REFER TO CIVIL DRAWINGS FOR ALL SITEWORK.
- PROVIDE PULLSTRINGS IN ALL NEW CONDUIT FOR FUTURE CABLING.

KEYNOTE SITE

- EXISTING TO REMAIN.
- INSTALL EXISTING LIGHTING POLE ON NEW 54" CONCRETE BASE. PRESERVE AND CONNECT TO EXISTING LIGHTING CIRCUIT.
- INSTALL UNDERGROUND LOW VOLTAGE CONDUIT FOR FUTURE CABLING. FEED NEW UNDERGROUND CONDUIT INTO EXISTING LIGHT POLE THROUGH NEW BASE.
- UNDERGROUND LOW VOLTAGE CONDUIT TO ENTER IN BASEMENT STORAGE ROOM FOR POLE MOUNTED CAMERAS.
- INSTALL EXISTING LIGHTING POLE ON NEW 30" CONCRETE BASE. PRESERVE AND CONNECT TO EXISTING LIGHTING CIRCUIT.



1 SITE PLAN
1" = 20'-0"

2 54" CONCRETE BASE - DETAIL
NTS

3 30" CONCRETE BASE - DETAIL
NTS

STOKKE TOWER

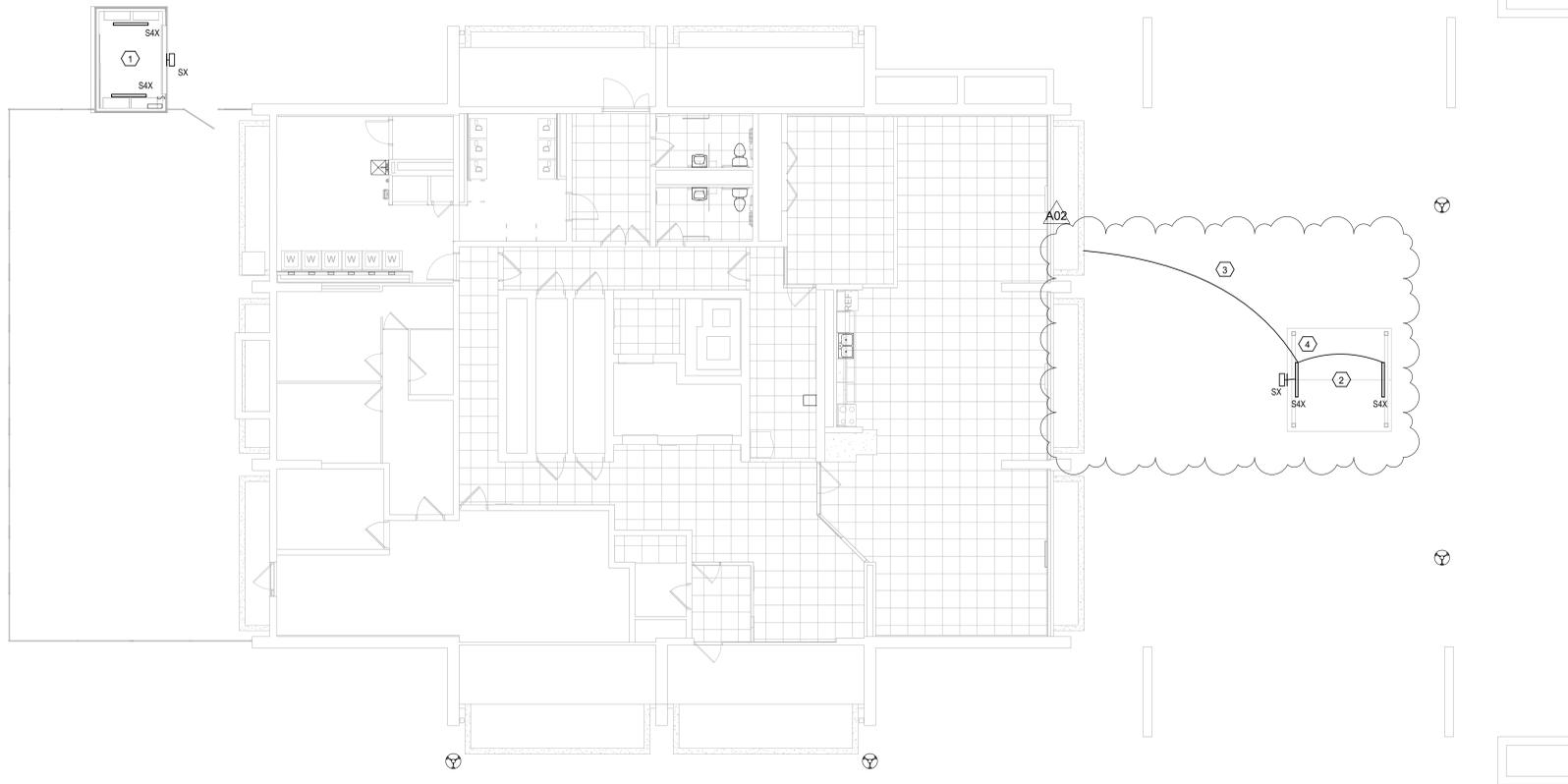


GENERAL LIGHTING NOTES:

- REFER TO E001 FOR NOTES AND SYMBOLS
- "N/E/M" INDICATES LIGHTING FIXTURE TO BE ON 24 HOURS WITH EMERGENCY BATTERY.
- REUSE EXISTING LIGHTING BRANCH CIRCUITS FOR UPGRADED LIGHTING IN THE EXISTING SPACE.

KEY NOTES LIGHTING

- MOUNT NEW FIXTURES TO CEILING KEEPING CLEAR OF GARAGE DOOR. INSTALL USING EXISTING CIRCUIT.
- EXTEND THE EXISTING SITE LIGHTING CIRCUIT TO NEW LIGHT FIXTURES. MOUNT FIXTURES TO STRUCTURE. COORDINATE WITH OWNER FOR CIRCUIT BREAKER LOCATION.
- PROVIDE 3/4" UNDERGROUND CONDUIT WITH (3) 12 AWG. EXTEND THE EXISTING LIGHTING CIRCUIT TO NEW FIXTURES.
- PROVIDE RIGID CONDUIT ABOVE GRADE FOR LIGHTING CIRCUIT RUNS AND CONNECTIONS.



HOUSING AUTHORITY OF THE CITY OF LA CROSSE
2025 CAPITAL IMPROVEMENT PROJECTS

Project Location: 1307 BADGER STREET
LA CROSSE, WI 54602

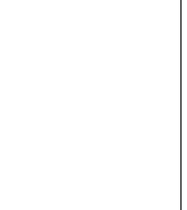
FIRST FLOOR LIGHTING PLAN

HSR Project Number: 25046

Project Date: DECEMBER 2025

Drawn By: HSR

Key Plan:



BID DRAWINGS

No.	Description	Date
A02	Addendum 2	01/08/26

Graphic Scale:
0' 2' 4' 8' 12'

Last Update:
1/7/2026 11:22:32 AM

E520

1 FIRST FLOOR LIGHTING PLAN
1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURE	CATALOG NUMBER	DESCRIPTION	VOLT	MOUNTING **			LAMPS	
					F	S	P	O	WATT
S4	LITHONIA	CLX-L48-5000LM-SEF-RDL-MVOLT-G210-40K-80CRI-WH	4'-0" LENSED LED	UNIV	.	.	.	37	1
S4X	DAYBRITE	VTS-4-50L-840-UN3-DIM	4' STRIP LIGHT WEATHERPROOF	UNIV	.	.	.	44	2
SX	LUMARK	XTOR2B-4-BZ-PC1	WALL SCONCE WEATHERPROOF	UNIV	.	.	.	18	3

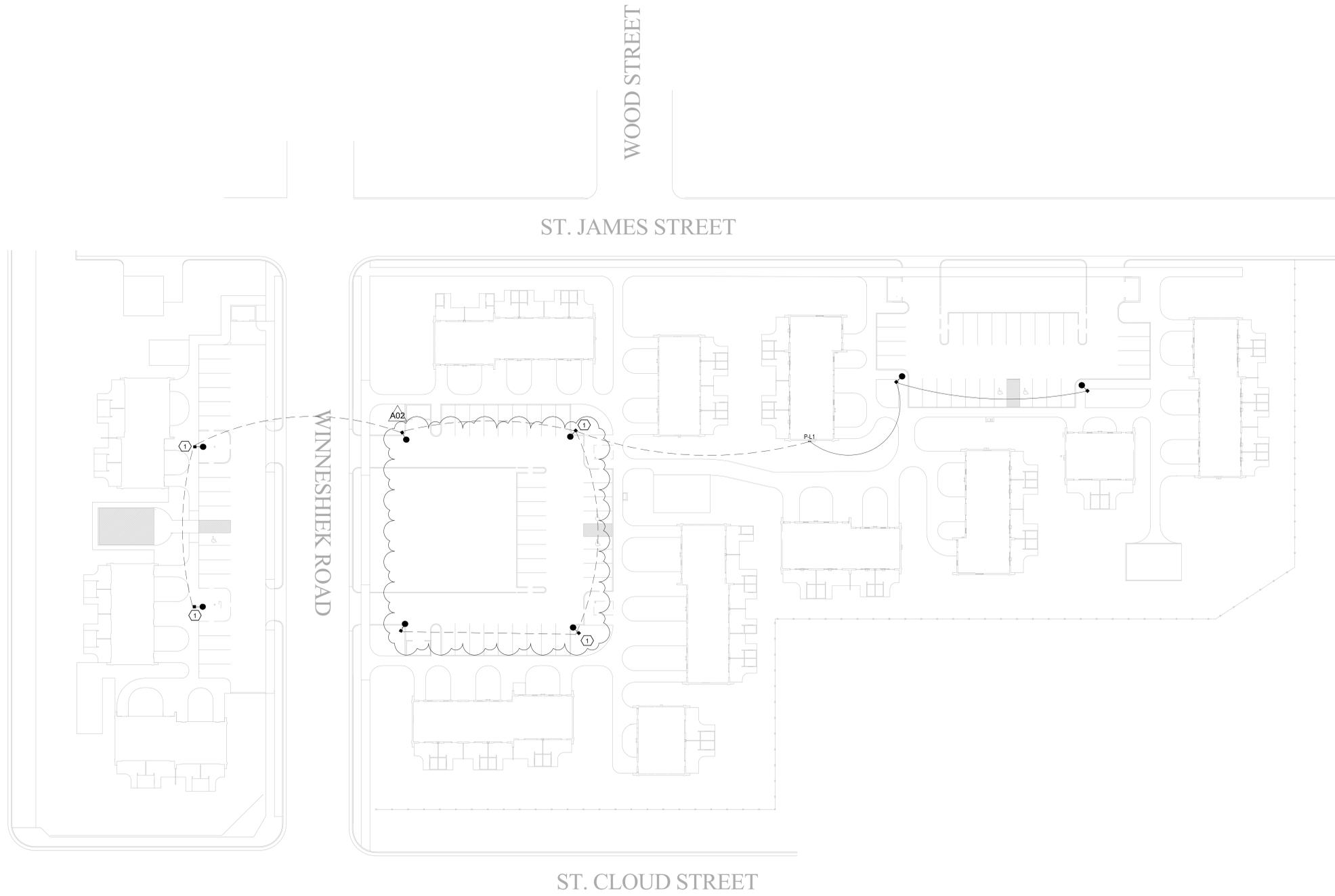
** (F) FLUSH MOUNT; (S) SURFACE MOUNT; (P) PENDANT HUNG; (O) OTHER-SEE REMARKS IN REGARDS TO FIXTURE MOUNTING.

- NOTES:
- 4' STRIP LIGHT, 5000LM, 4000K, SURFACE MOUNTED, PHOTOCELL.
 - 4' WEATHERPROOF STRIP LIGHT, 5000LM, 4000K, SURFACE MOUNTED.
 - WALL MOUNT OUTDOOR SCONCE, 18W, 4000K, PHOTOCELL.

EQUAL FIXTURES:

a. FIXTURES EQUAL IN ALL RESPECTS TO THE SPECIFIED FIXTURES MANUFACTURED BY, PHILIPS, COOPER LIGHTING, LITHONIA, COLUMBIA, HUBBELL, & DAYBRITE SHALL BE CONSIDERED AS EQUAL.

STOKKE TOWER



GENERAL LIGHTING NOTES:

1. REFER TO E001 FOR NOTES AND SYMBOLS
2. RE-FEED LIGHTING CIRCUITS IN PL-1. EACH ZONE TO BE ON A SINGLE 120V 20AMP CIRCUIT. PROVIDE DAYLIGHT SENSOR FOR EACH CIRCUIT 10' AFF ABOVE EXISTING PANEL PL-1 FOR LIGHTING CONTROL.
3. ALL NEW CONDUITS TO HAVE A PULLSTRINGS FOR FUTURE CABLING.

KEY NOTES LIGHTING

1. PRESERVE EXISTING LIGHTING CIRCUIT, POLE, HARDWARE AND LIGHT FIXTURE. REMOVE FROM ORIGINAL LOCATION, STORE FOR OWNER, AND RE-INSTALL WITH NEW BASE. COORDINATE WITH OWNER FOR LOCATION.
2. PROVIDE AND INSTALL NEW LIGHT FIXTURE, BASE, AND 20FT SQUARE POLE. COORDINATE WITH OWNER FOR LOCATION. EXTEND CIRCUIT IN AREA TO NEW FIXTURES.
3. PROVIDE AND INSTALL 1" UNDERGROUND CONDUIT WITH (3)1/2" AWG TO THE NEW LIGHT POLE LOCATION. EXTEND EXISTING LIGHTING CIRCUIT.
4. RE-INSTALL EXISTING POLE AND LIGHT FIXTURE TO NEW CONCRETE BASE. CONNECT TO EXISTING LIGHTING CIRCUIT.
5. PROVIDE DAYLIGHT SENSORS FOR EACH LIGHTING CIRCUIT 10' AFF ABOVE PANEL.
6. PROVIDE 3/4" PVC UNDERGROUND CONDUIT FOR LOW VOLTAGE CABLING. FEED CONDUIT UP INTO LIGHTING POLE.
7. PROVIDE 3/4" PVC CONDUIT FOR LOW VOLTAGE CABLING STUBBED OUT UNDERGROUND. CAPPED, AND FEED FROM LIGHTING POLE. ANGLE UNDERGROUND STUBBED CONDUIT TOWARDS SOUTHWEST.
8. PROVIDE NEMA 3 CABINET FOR FUTURE CAMERA EQUIPMENT. MOUNT TO BUILDING NEXT TO ELECTRICAL PANEL. PROVIDE 120V 20AMP CIRCUIT TO NEW CABINET, WITH 3' SERVICE LOOP AND CAP FOR FUTURE.
9. PROVIDE NEW 120V 20AMP LIGHTING CIRCUIT FROM GARAGE PANEL FOR NEW LIGHT POLES IN ZONE 3. PROVIDE PHOTOCELL ON SOUTH SIDE OF THE GARAGE. MOUNT 10' AFF ON THE EXTERIOR.



BID DRAWINGS

No.	Description	Date
A02	Addendum 2	01/08/26

Graphic Scale: 0' 2' 4' 8' 12'

Last Update: 1/7/2026 10:51:09 AM

1 SITE DEMOLITION PLAN
1" = 30'-0"

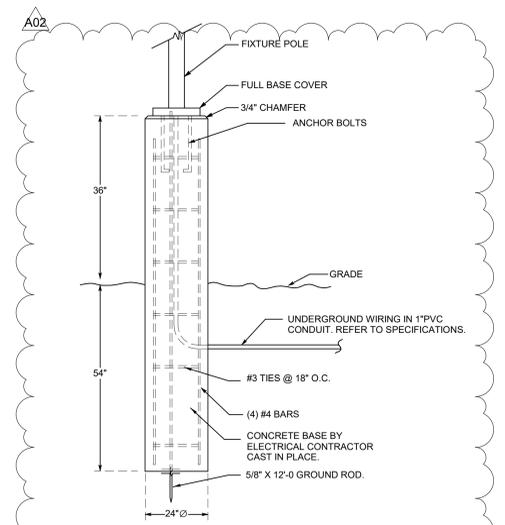
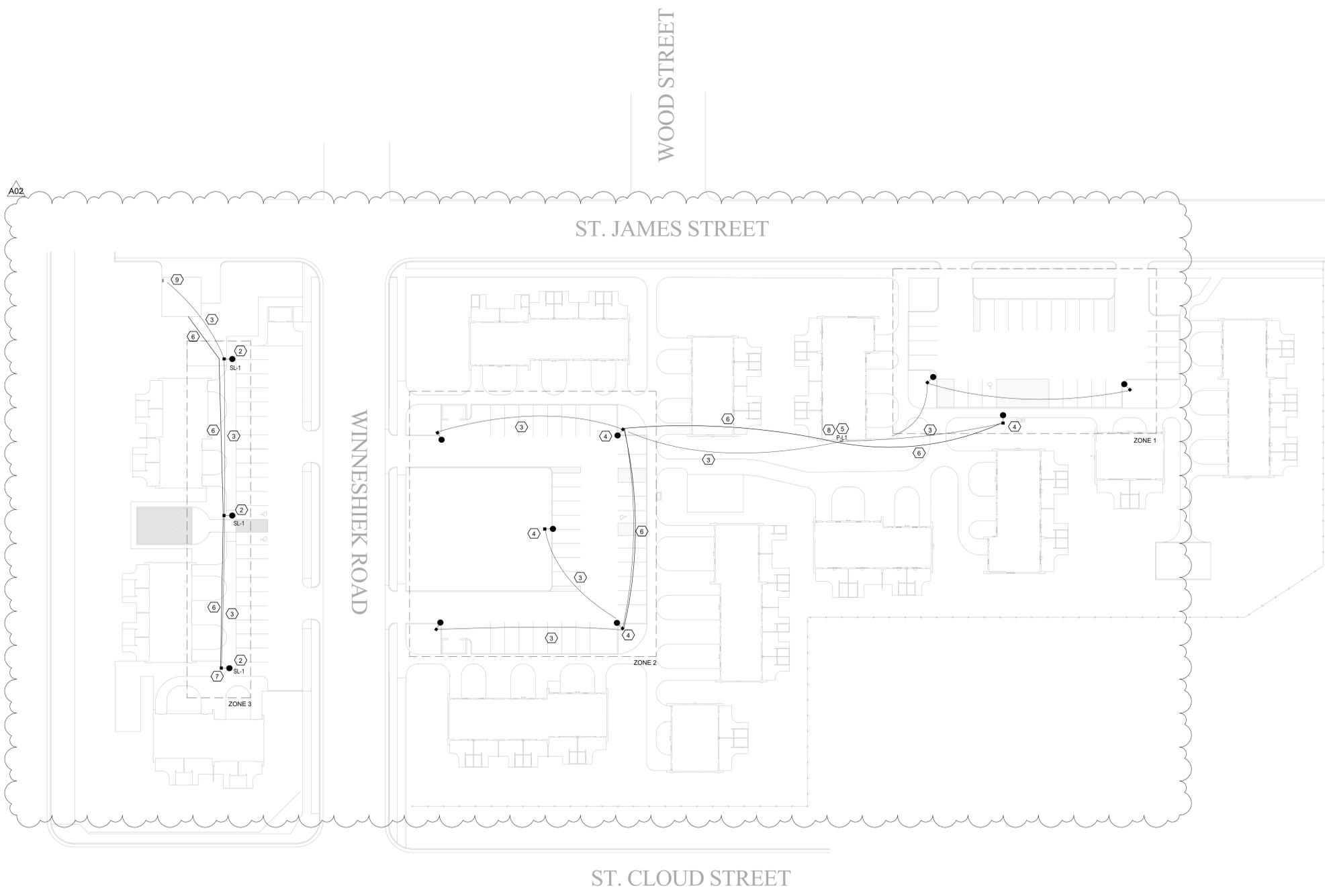
MULLEN

ED601



- GENERAL LIGHTING NOTES:**
- REFER TO E601 FOR NOTES AND SYMBOLS
 - RE-FEED LIGHTING CIRCUITS IN PL-1. EACH ZONE TO BE ON A SINGLE 120V 20AMP CIRCUIT. PROVIDE DAYLIGHT SENSOR FOR EACH CIRCUIT 10' AFF ABOVE EXISTING PANEL PL-1 FOR LIGHTING CONTROL.
 - ALL NEW CONDUITS TO HAVE A FULL STRING FOR FUTURE CABLING.

- KEY NOTES LIGHTING**
- PRESERVE EXISTING LIGHTING CIRCUIT, POLE, HARDWARE AND LIGHT FIXTURE. REMOVE FROM ORIGINAL LOCATION, STORE FOR OWNER, AND RE-INSTALL WITH NEW BASE. COORDINATE WITH OWNER FOR LOCATION.
 - PROVIDE AND INSTALL NEW LIGHT FIXTURE, BASE, AND 20FT SQUARE POLE. COORDINATE WITH OWNER FOR LOCATION. EXTEND CIRCUIT IN AREA TO NEW FIXTURES.
 - PROVIDE AND INSTALL 1" UNDERGROUND CONDUIT WITH (3)12G AWG TO THE NEW LIGHT POLE LOCATION. EXTEND EXISTING LIGHTING CIRCUIT.
 - RE-INSTALL EXISTING POLE AND LIGHT FIXTURE TO NEW CONCRETE BASE. CONNECT TO EXISTING LIGHTING CIRCUIT.
 - PROVIDE DAYLIGHT SENSORS FOR EACH LIGHTING CIRCUIT 10' AFF ABOVE PANEL.
 - PROVIDE 3/4" PVC UNDERGROUND CONDUIT FOR LOW VOLTAGE CABLING. FEED CONDUIT UP INTO LIGHTING POLE.
 - PROVIDE 3/4" PVC CONDUIT FOR LOW VOLTAGE CABLING STUBBED OUT UNDERGROUND, CAPPED, AND FEED FROM LIGHTING POLE. ANGLE UNDERGROUND STUBBED CONDUIT TOWARDS SOUTHWEST.
 - PROVIDE NEMA 4 CABINET FOR FUTURE CAMERA EQUIPMENT. MOUNT TO BUILDING NEXT TO ELECTRICAL PANEL. PROVIDE 120V 20AMP CIRCUIT TO NEW CABINET, WITH 3 SERVICE LOOP AND GAP FOR FUTURE.
 - PROVIDE NEW 120V 20AMP LIGHTING CIRCUIT FROM GARAGE PANEL FOR NEW LIGHT POLES IN ZONE 3. PROVIDE PHOTOCELL ON SOUTH SIDE OF THE GARAGE. MOUNT 10' AFF ON THE EXTERIOR.



1 SITE LIGHTING PLAN
1" = 30'-0"

2 CONCRETE BASE DETAIL
NTS

PANELBOARD SCHEDULE																	
PANEL NAME	ROOM NO.	MFG'R TYPE	MOUNT'G		SIZE		MAINS					BRANCHES			REMARK NUMBER		
			FLUSH	SURFACE	WIDTH	DEPTH	ELECTRICAL SERVICE	AMP.	LUGS	BREAKER	SWITCH	FEED THRU LUGS	NO.	AMP.		POLE	CIRCUIT
PL-1	EXTERIOR OF BUILDING 1316	SQ. D. NQ	X		20"	5.75"	208Y/120 VOLT 3 PH, 4 WIRE	125		X			1	20	1	ZONE 1 PARKING LOT LIGHTING	1,2
													2	20	1	ZONE 2 PARKING LOT LIGHTING	1,2
													4	20	1	CIRCUIT TO NEMA CABINET	3
GARAGE PANEL	NORTH-WEST CORNER	SQ. D. NQ	X		20"	5.75"	208Y/120 VOLT 3 PH, 4 WIRE	125		X			5	20	1	ZONE 3 PARKING LOT LIGHTING	1,2
													6	20	1	SPARE	** SPACE

* SEE REMARKS

PANELBOARD SCHEDULE REMARKS:

- PROVIDE NEW 120V 20AMP SINGLE POLE BREAKER IN EXISTING PANELBOARD.
- CIRCUIT TO PHOTOCELL FOR FIXTURE LIGHTING CONTROL.
- PROVIDE NEW 120V 20AMP SINGLE POLE CIRCUIT FOR FUTURE LOW VOLTAGE SWITCH. PROVIDE SINGLE GANG BACKBOX AND GFCI DUPLEX RECEPTACLE INSIDE NEMA 4 CABINET (N4-242408-W1DX).

LIGHT FIXTURE SCHEDULE											
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	VOLT	MOUNTING **				WATTS	COLOR TEMP.	REMARKS
					F	S	P	O			
SL-1	LITHONIA	RSX1 P2 40K R3 MVOLT SPA PE DDBXD	AREA LIGHT ON SQUARE POLE	UNIV.			-		72	4000K	1

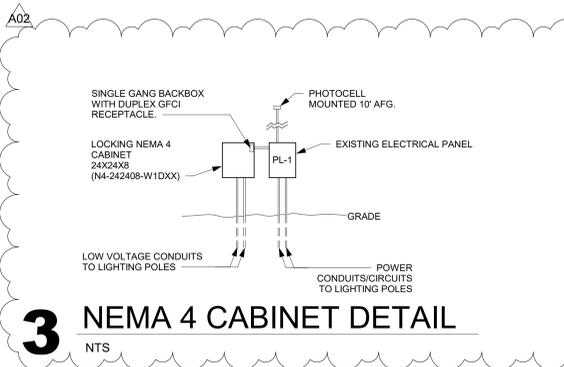
* SEE REMARKS
** (F) FLUSH MOUNT; (S) SURFACE MOUNT; (P) PENDANT HUNG; (O) OTHER-SEE REMARKS IN REGARDS TO FIXTURE MOUNTING.

REMARKS

- RSX1 AREA LIGHT LED, 4000K, P2 WIDE AREA, SQUARE POLE MOUNTED, WITH PHOTOCELL SENSOR, E.C. TO PROVIDE NEW SQUARE 20FT POLE IN BRONZE FINISH TO MATCH EXISTING.

EQUAL FIXTURES:

- FIXTURES EQUAL IN ALL RESPECTS TO THE SPECIFIED FIXTURES MANUFACTURED BY, PHILIPS, COOPER LIGHTING, LITHONIA, COLUMBIA, HUBBELL, & DAYBRITE SHALL BE CONSIDERED AS EQUAL.



3 NEMA 4 CABINET DETAIL
NTS

MULLEN